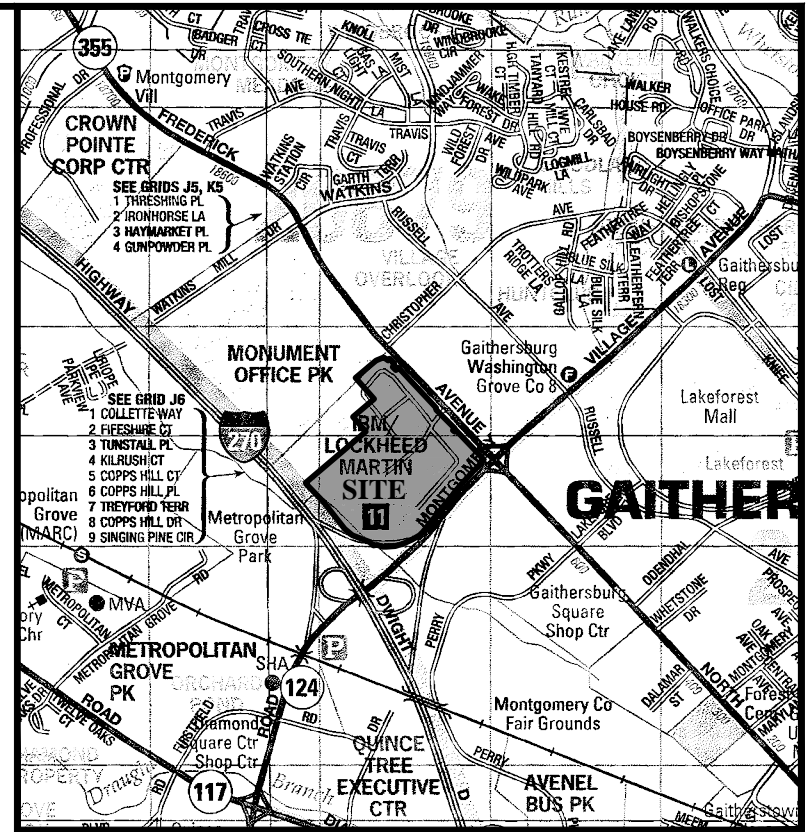


Site Plan Amendment



Vicinity Map
SCALE: 1"= 2000'

Table of Contents

Sheet Number	Sheet Title
1	Cover Sheet
2	Site Plan Amendment
3	Site Plan Amendment
4	Site Plan Amendment
5	Site Plan Amendment
6	Site Plan Details
7	Landscape and Forest Conservation Plan
8	Landscape and Forest Conservation Plan
9	Landscape and Forest Conservation Plan
10	Landscape and Forest Conservation Plan
11	Landscape and Forest Conservation Details
12	Landscape and Forest Conservation Details

General Notes:

- The limits of the Site was taken from plat 19929 by KCI Technologies, Inc.
- Existing contour interval = 2'.
- This site is zoned MXD.
- All pedestrian walks, conservation easements and buffers to be maintained by the owner.
- Site area = 44.09 ac.±.

Legend

- Stream Valley Buffer
- Streams, Ponds Etc.
- Existing Storm Drain
- Existing Treeline
- Wetlands Buffer
- Wetlands
- Floodplain Reservation
- 100 Year Flood Plain
- Significant Tree and Critical Root Zone
- Existing Contours
- Proposed Contours
- Limits of Disturbance
- Proposed Path, Paving Section 1
- Proposed Path, Paving Section 2
- Bollard Light
- Utility Box
- Mile Marker
- Stone Pier
- Trash Receptacle
- Bench
- Detail Number Over Sheet Number

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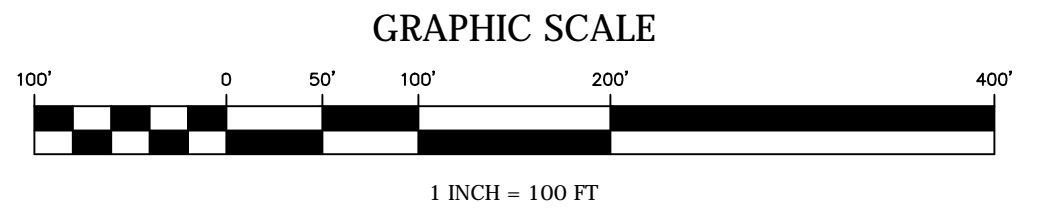
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SCALE: 1"=100'
JOB No. 819C
DATE OCT., 2011
C-1
SHEET No. 1 of 12

REVISION	DATE	REVISION	DATE	REVISION	DATE

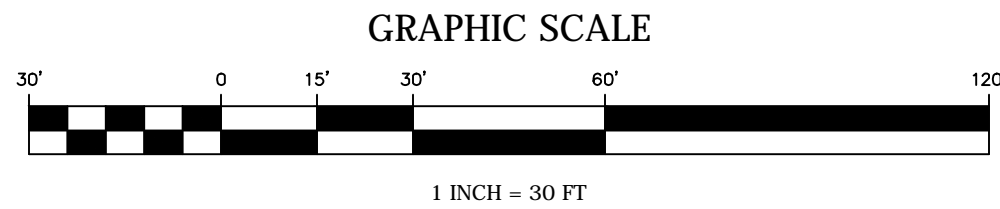
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COVER SHEET

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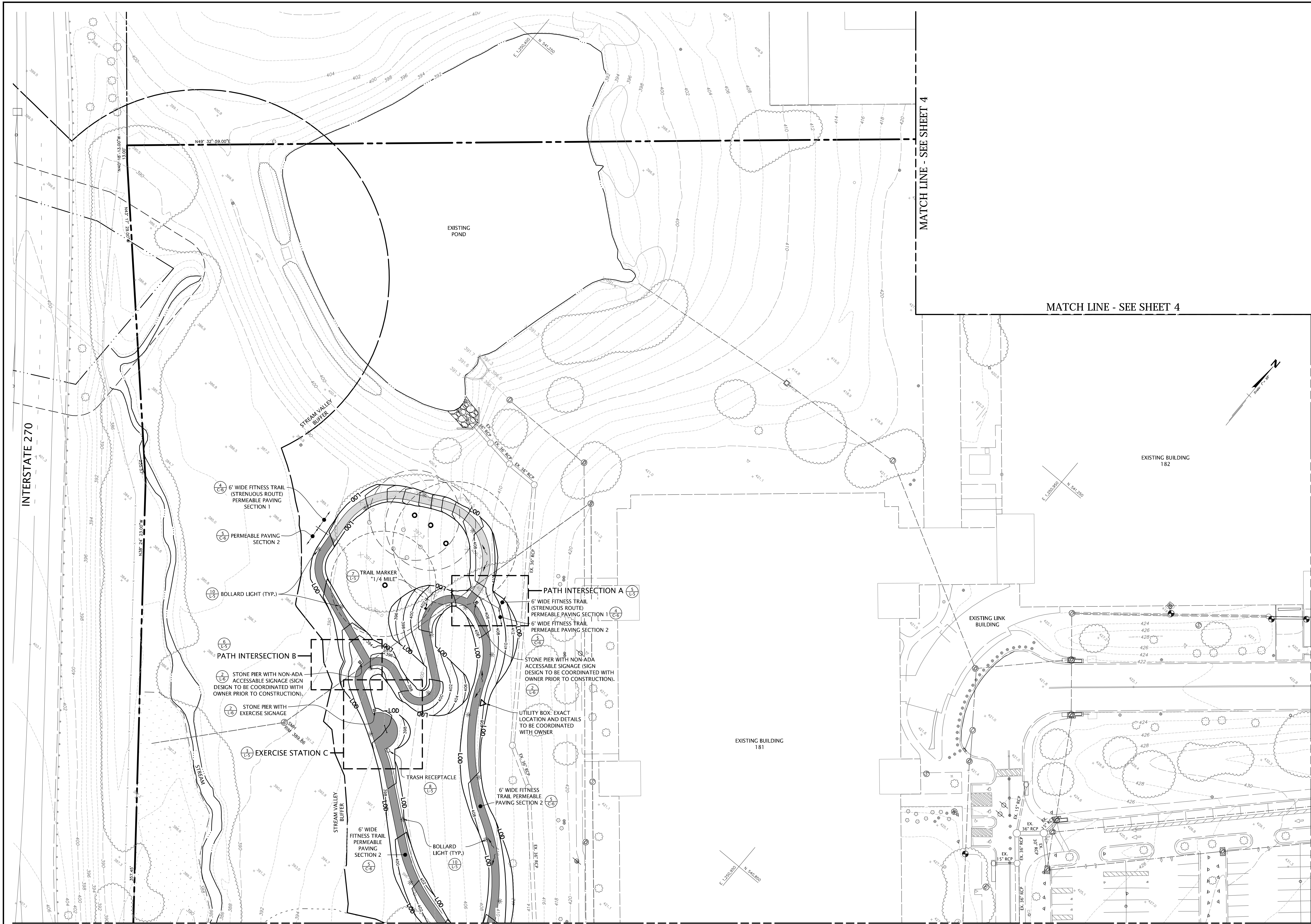
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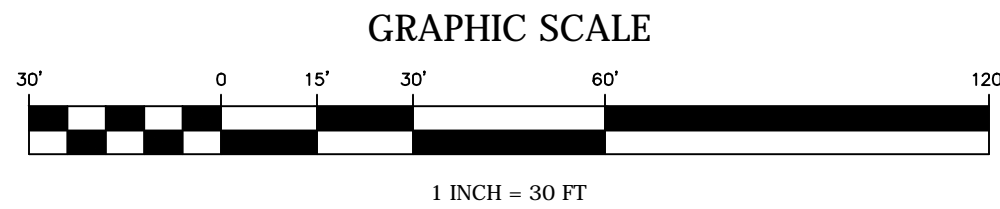


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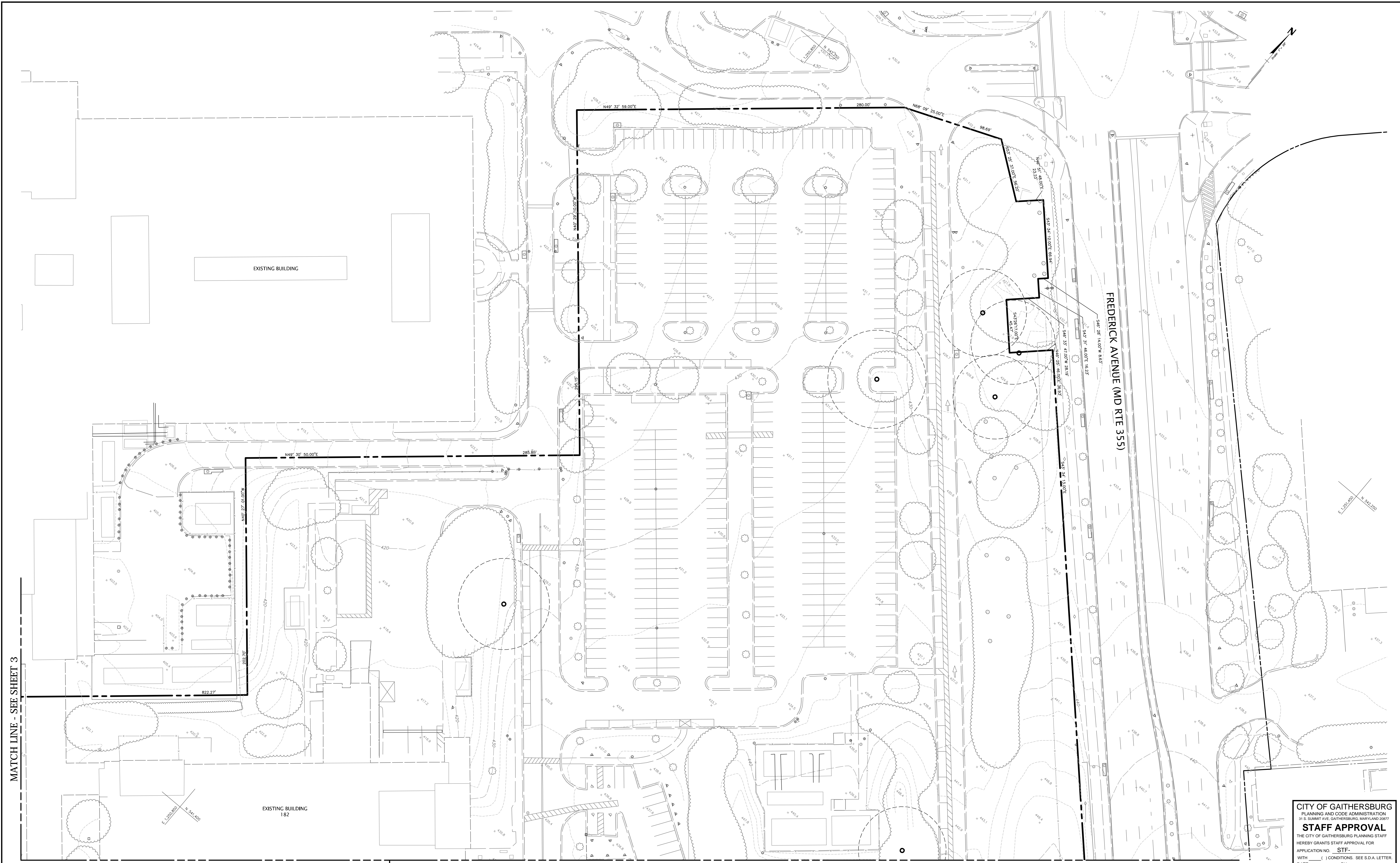
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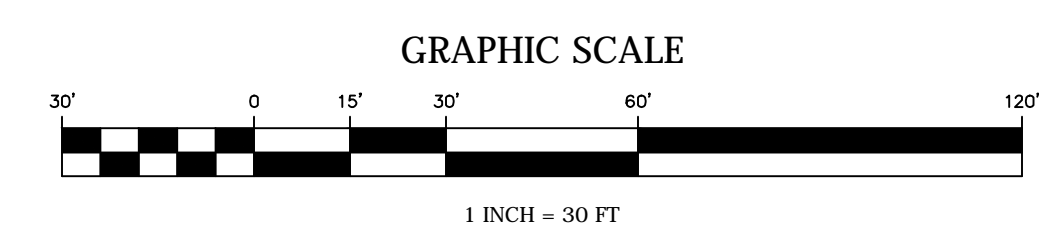
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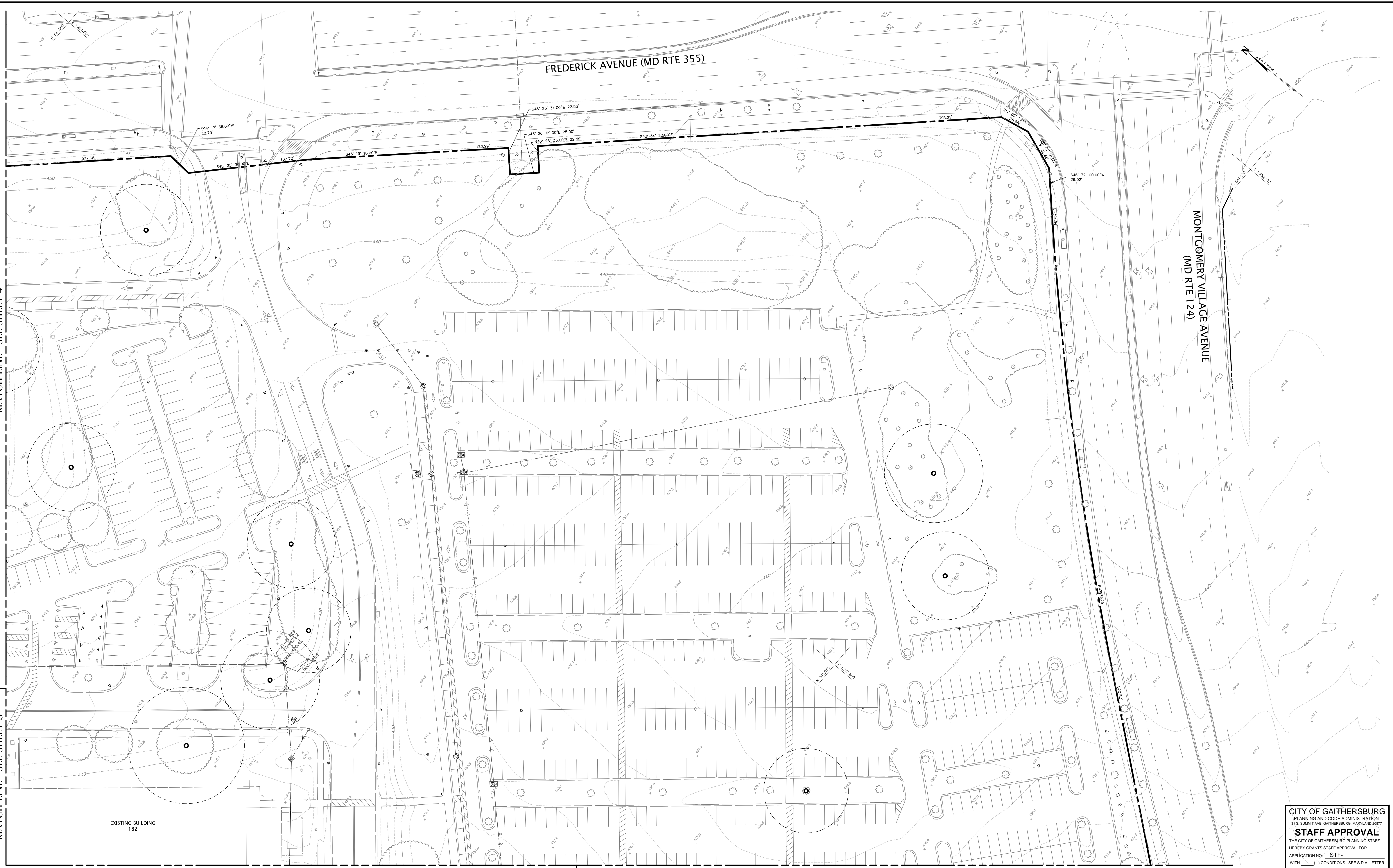
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C-4
SHEET No. 4 of 12

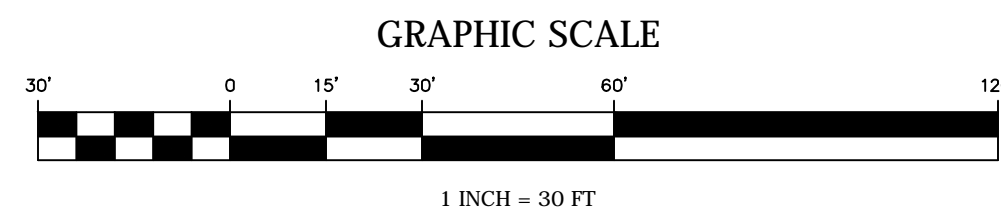
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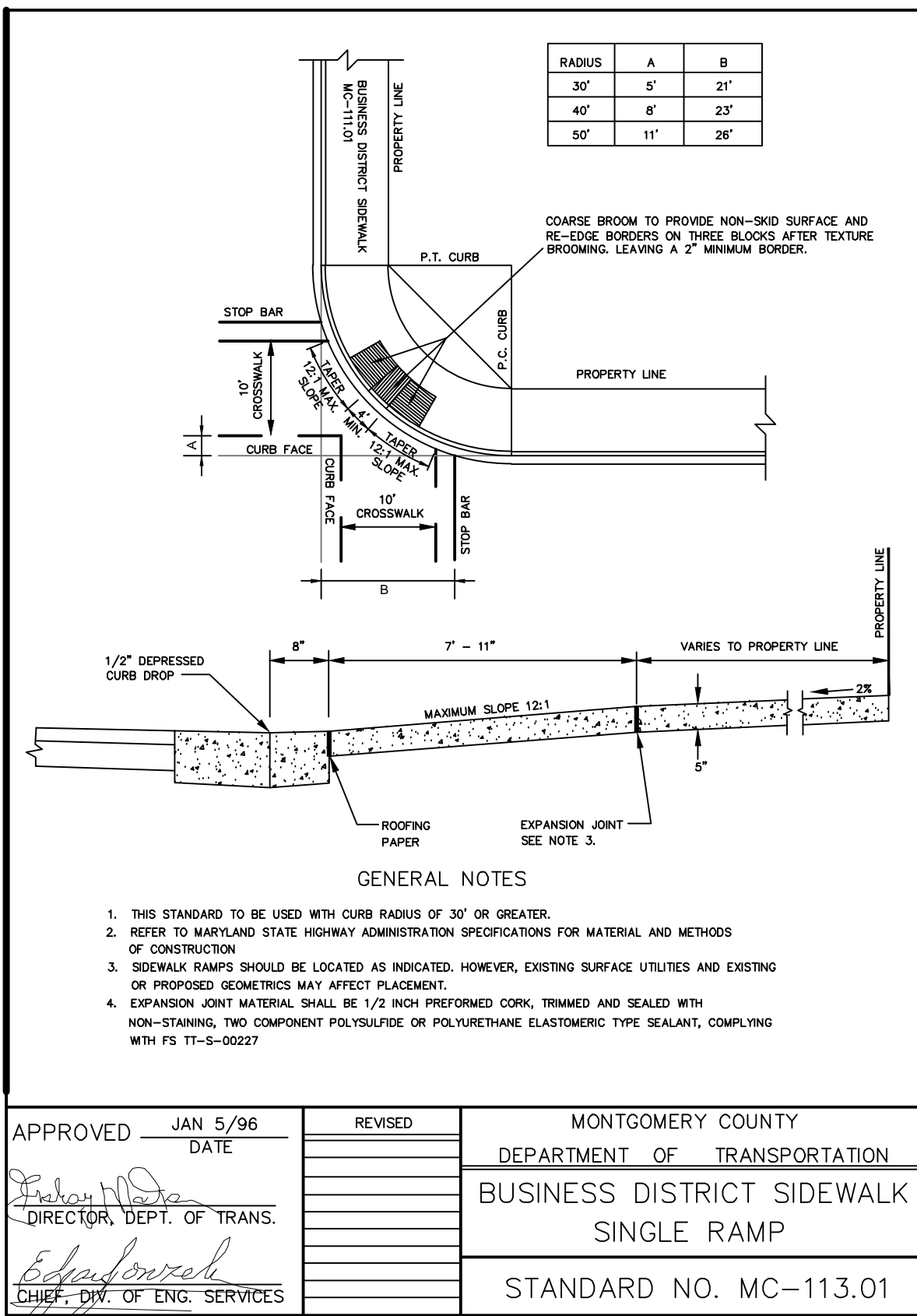
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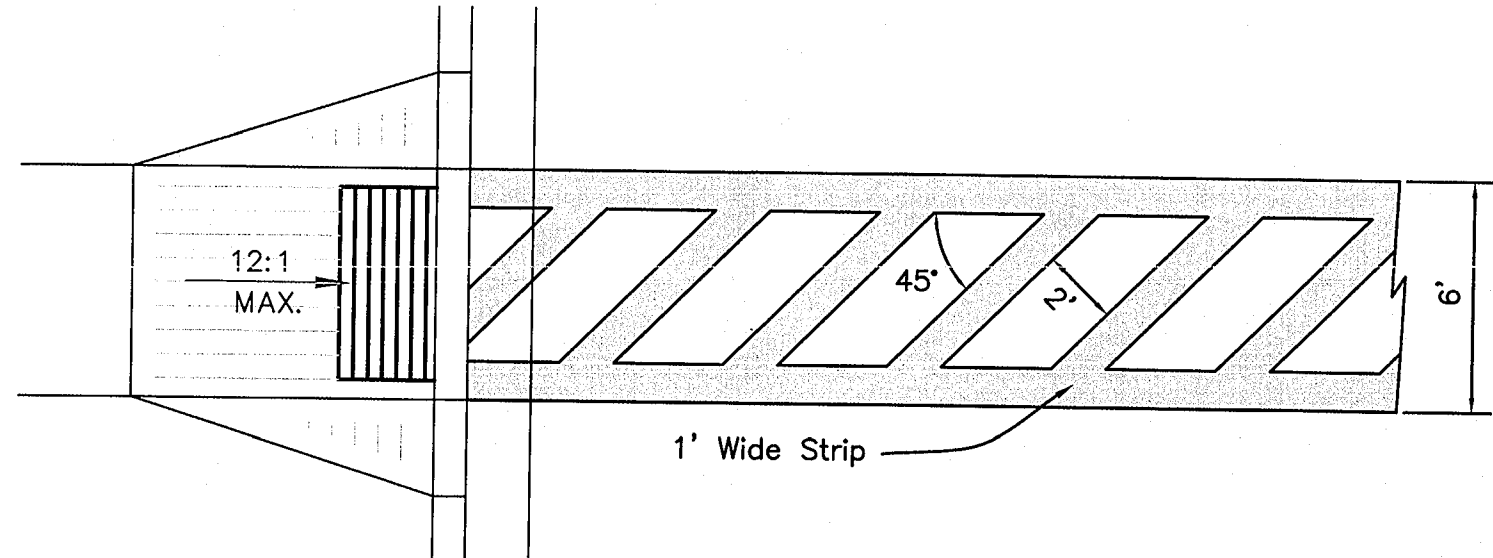
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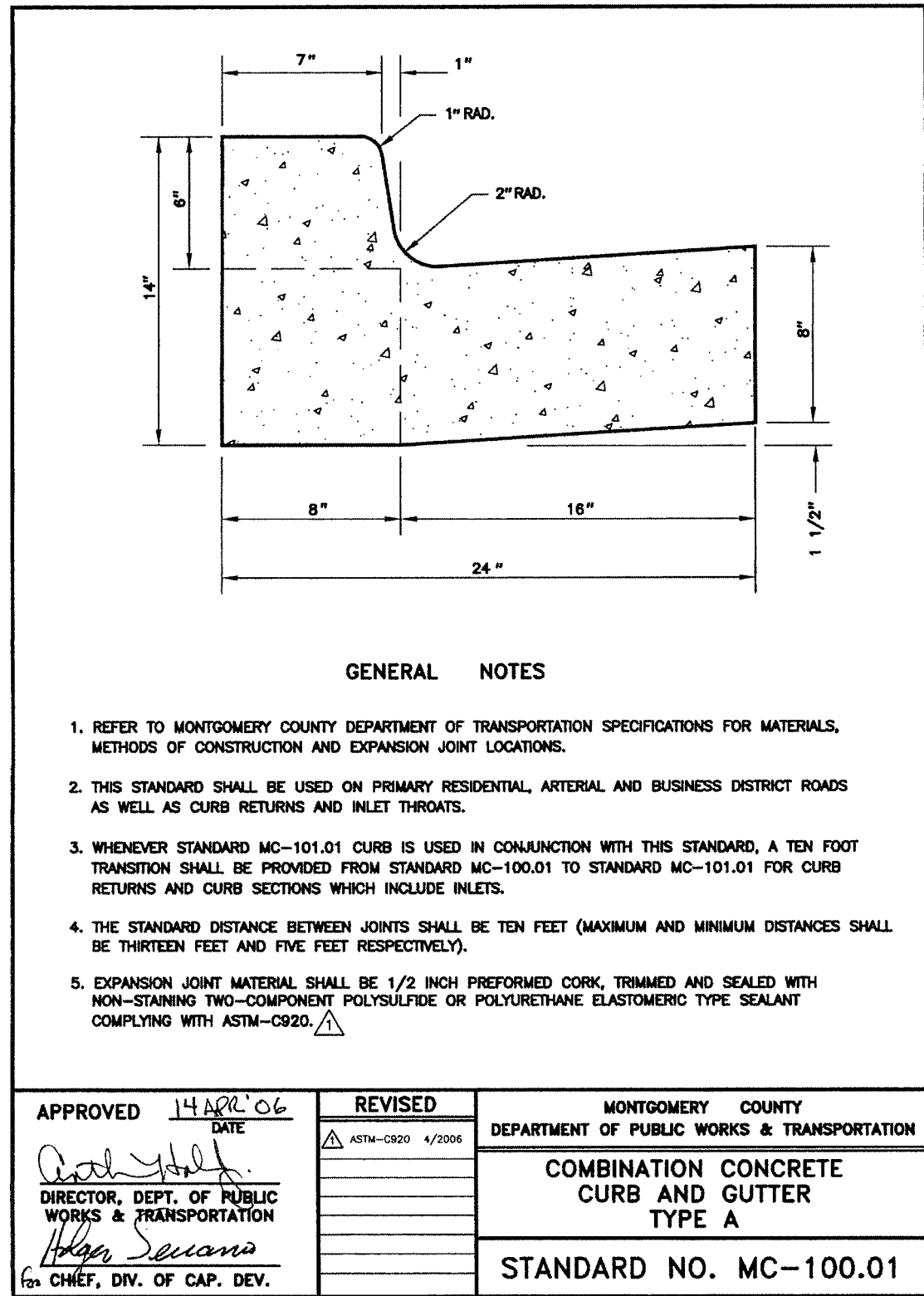
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SHEET No. 5 of 12



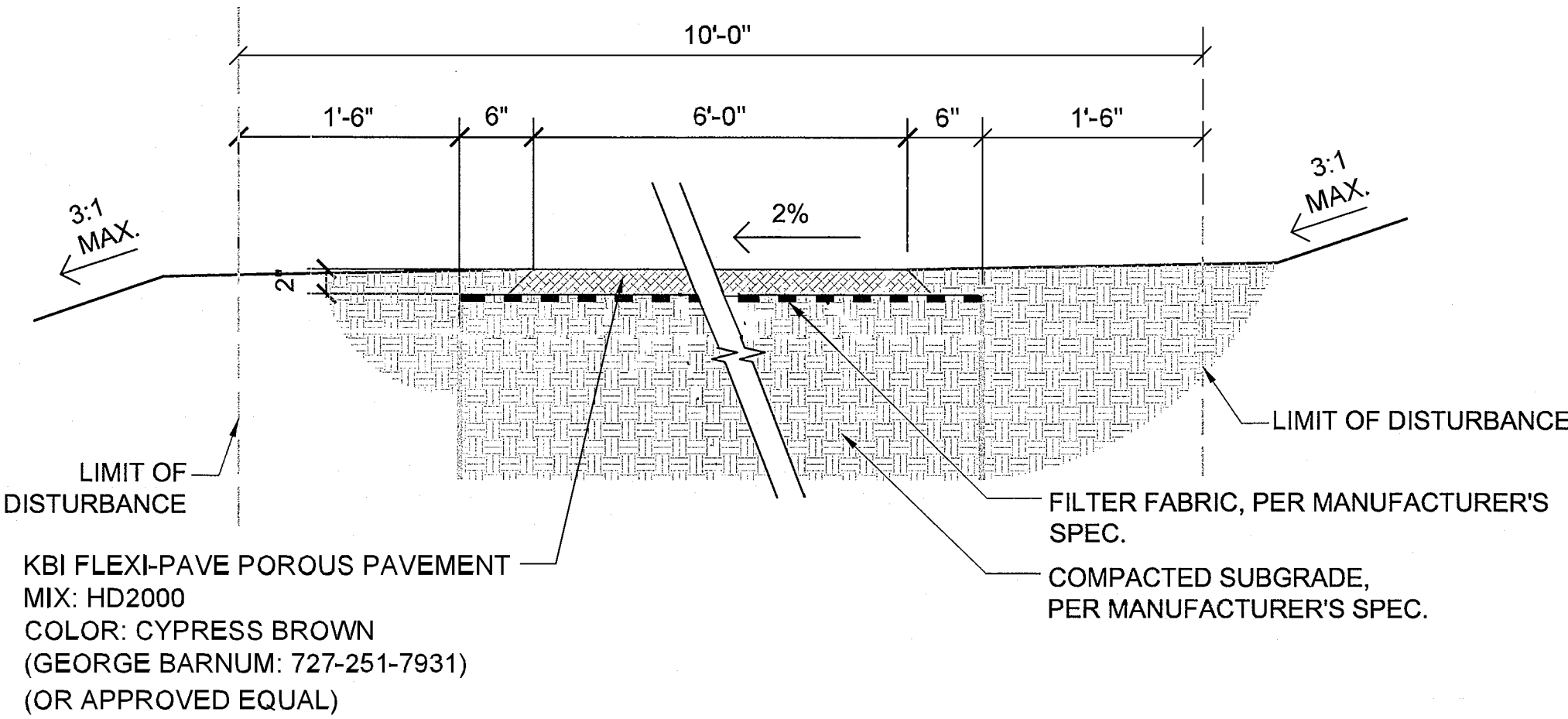
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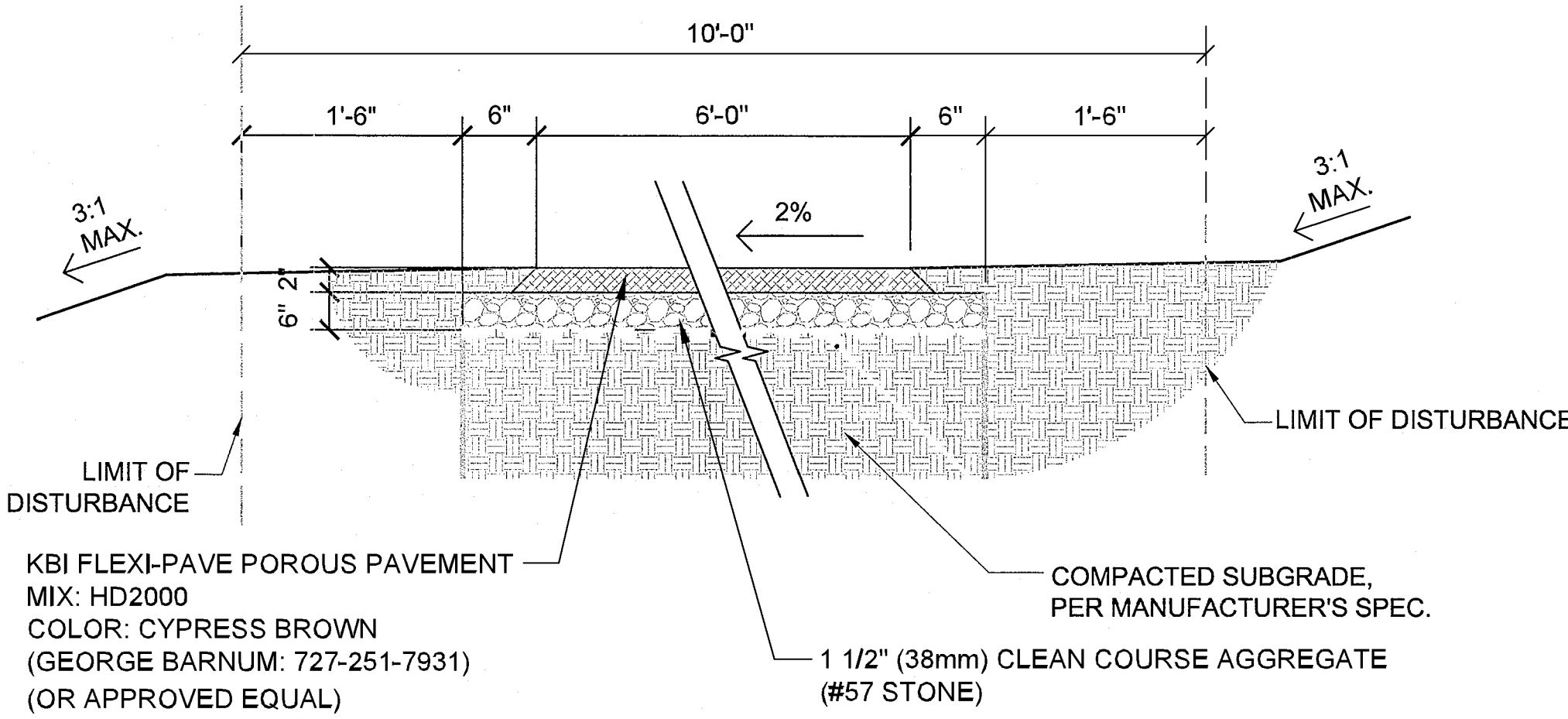
2 CROSSWALK STRIPING DETAIL
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3 TYPE 'A' CURB AND GUTTER



4 PERMEABLE PAVING SECTION 1
NTS



5 PERMEABLE PAVING SECTION 2
NTS

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JOB No. 819C
DATE OCT., 2011
C-6
SHEET No. 6 of 12

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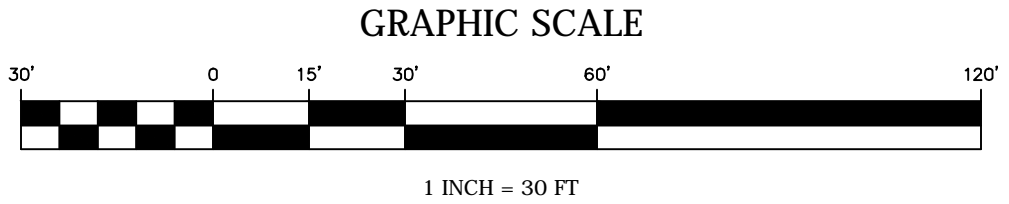


KEY TO SYMBOLS

- PO Proposed Landscape Tree (Shade Tree)
- CF Proposed Landscape Tree (Flowering Tree)
- TO Proposed Landscape Tree (Exergreen Tree)
- WP Existing Landscape Trees for Forest Conservation Credit*
- NM Existing Landscape Trees for Forest Conservation Credit*
- Proposed Stream Valley Buffer Planting*

*See Sheet L-6 for details

MATCH LINE - SEE SHEET 10



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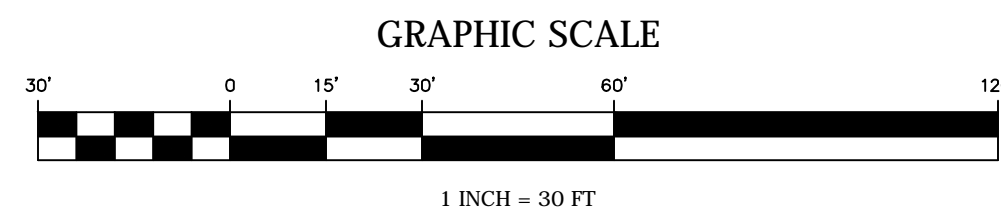
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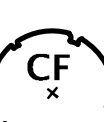



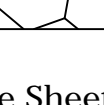
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SHEET No. 7 of 12



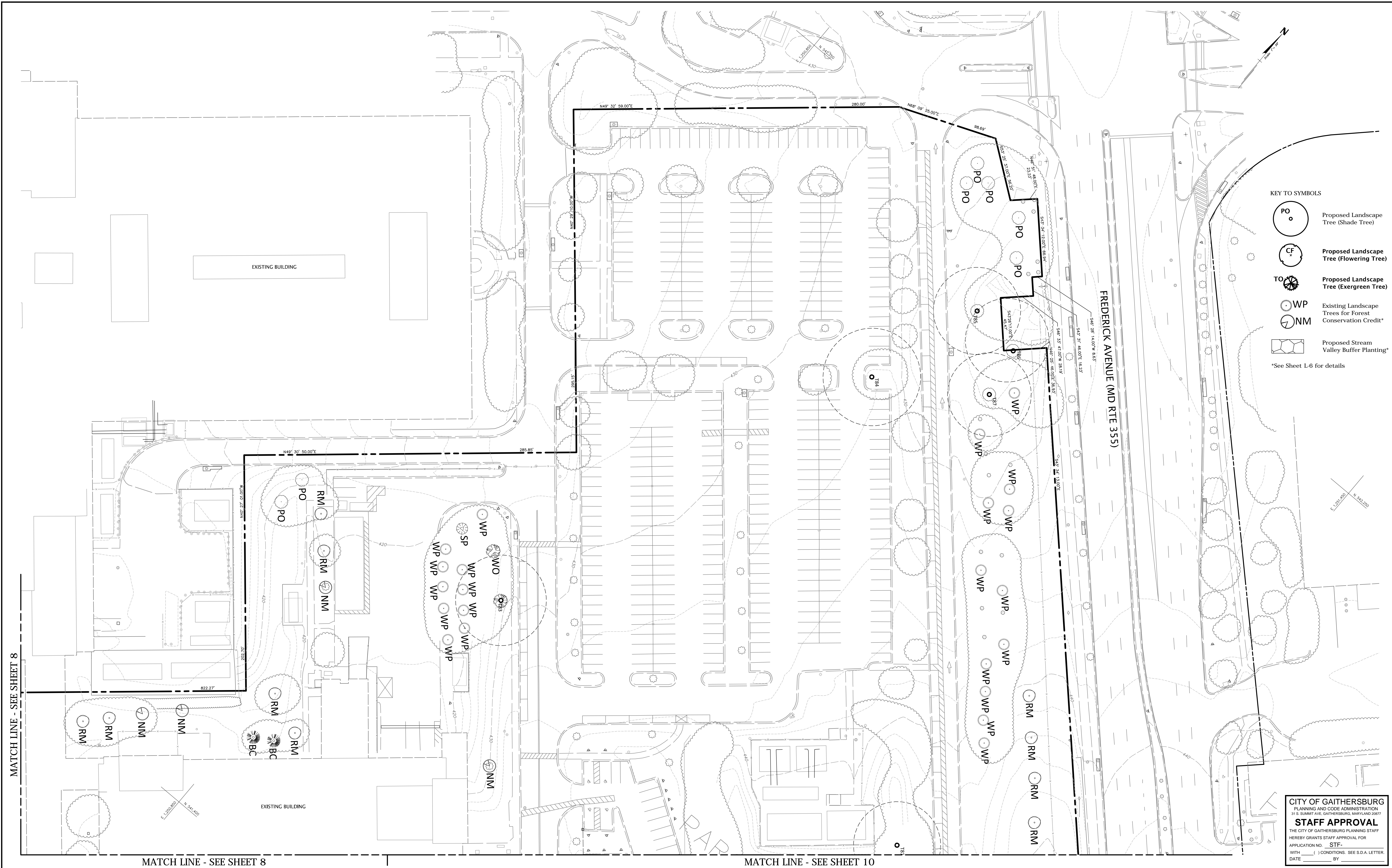
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L-2	
SHEET No.	8 OF 12

KEY TO SYMBOLS

	Proposed Landscape Tree (Shade Tree)
	Proposed Landscape Tree (Flowering Tree)
	Proposed Landscape Tree (Exergreen Tree)
	WP Existing Landscape Trees for Forest Conservation Credit*
	NM
	Proposed Stream Valley Buffer Planting*

*See Sheet L-6 for details



KEY TO SYMBOLS

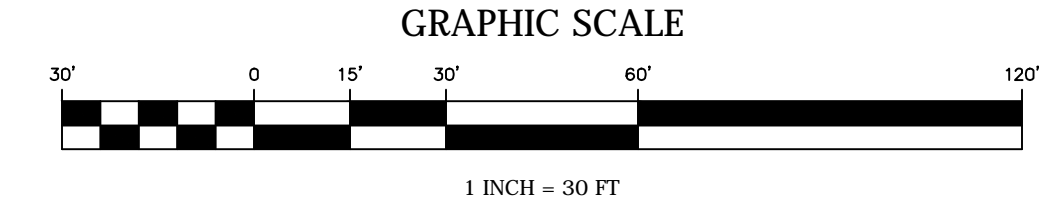
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- Proposed Stream Valley Buffer Planting*

*See Sheet L-6 for details

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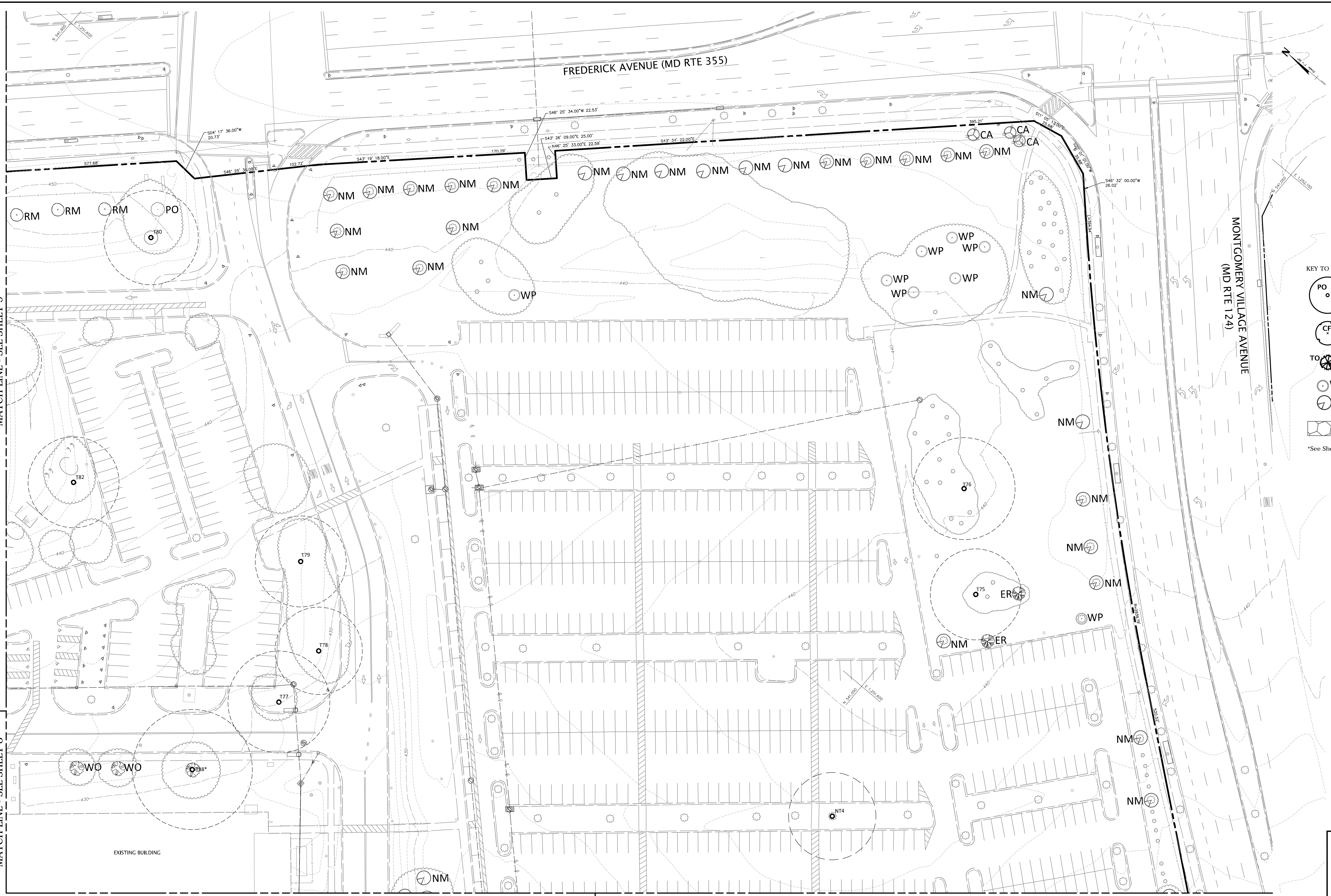
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L-3
SHEET No. 9 of 12

MATCH LINE - SEE SHEET 9

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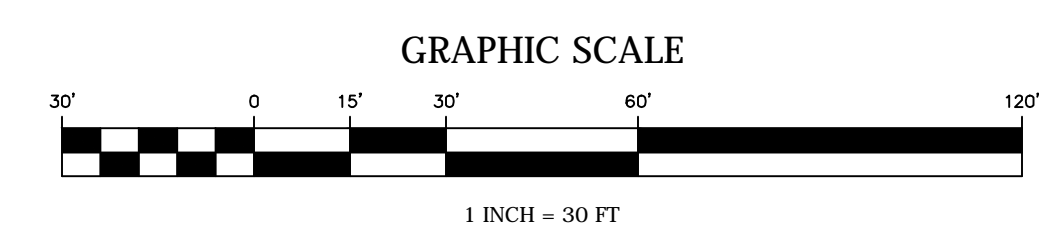
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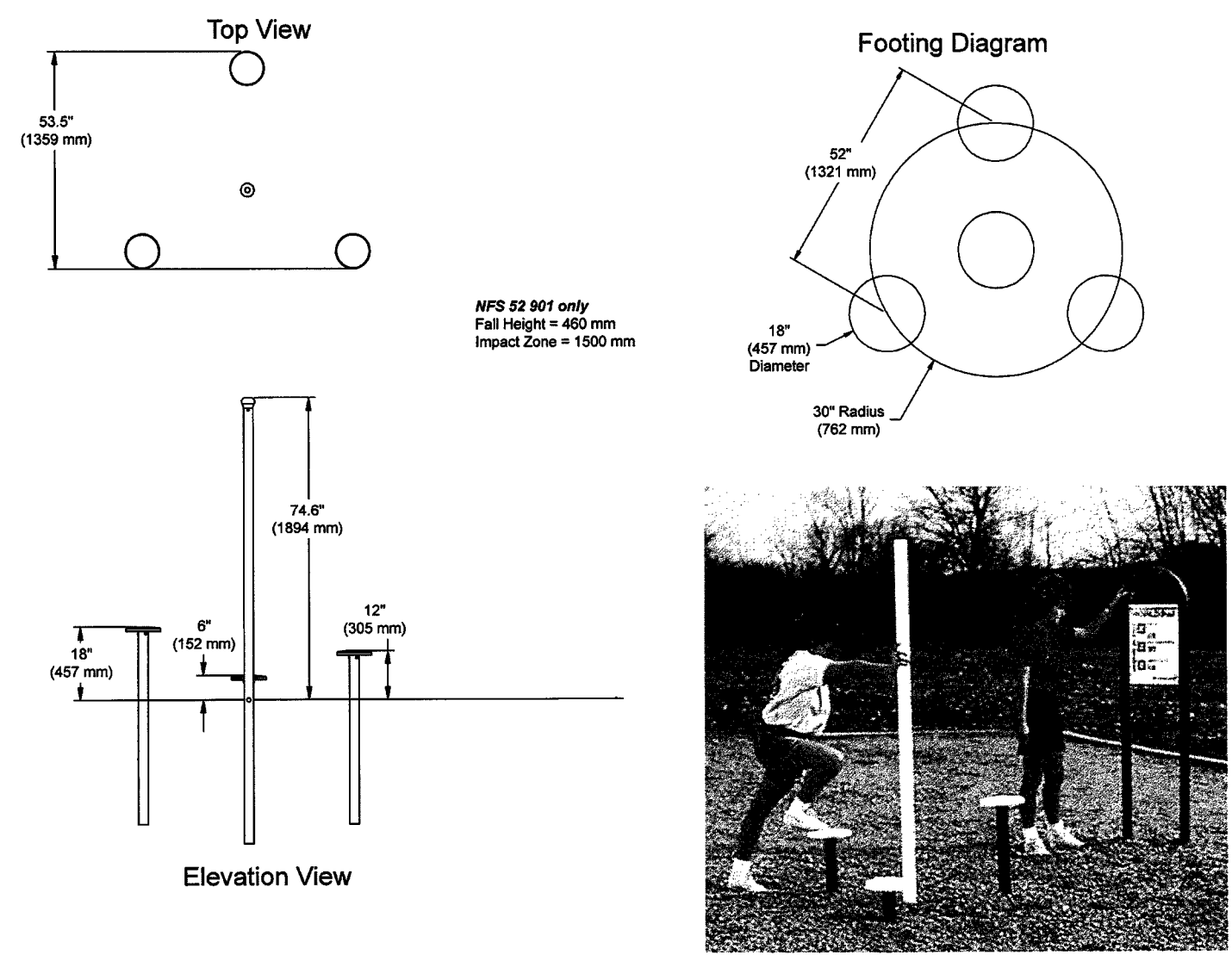
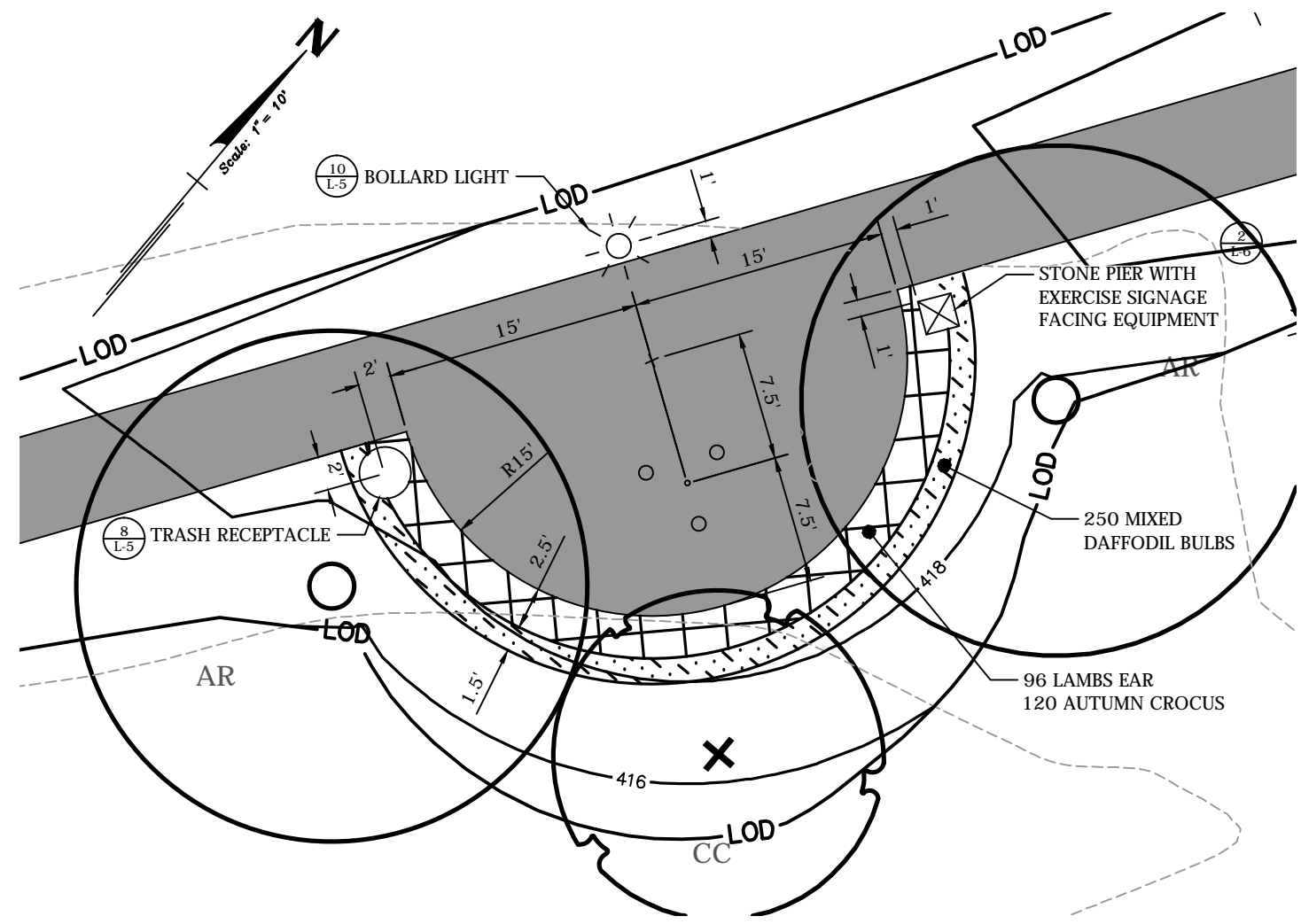
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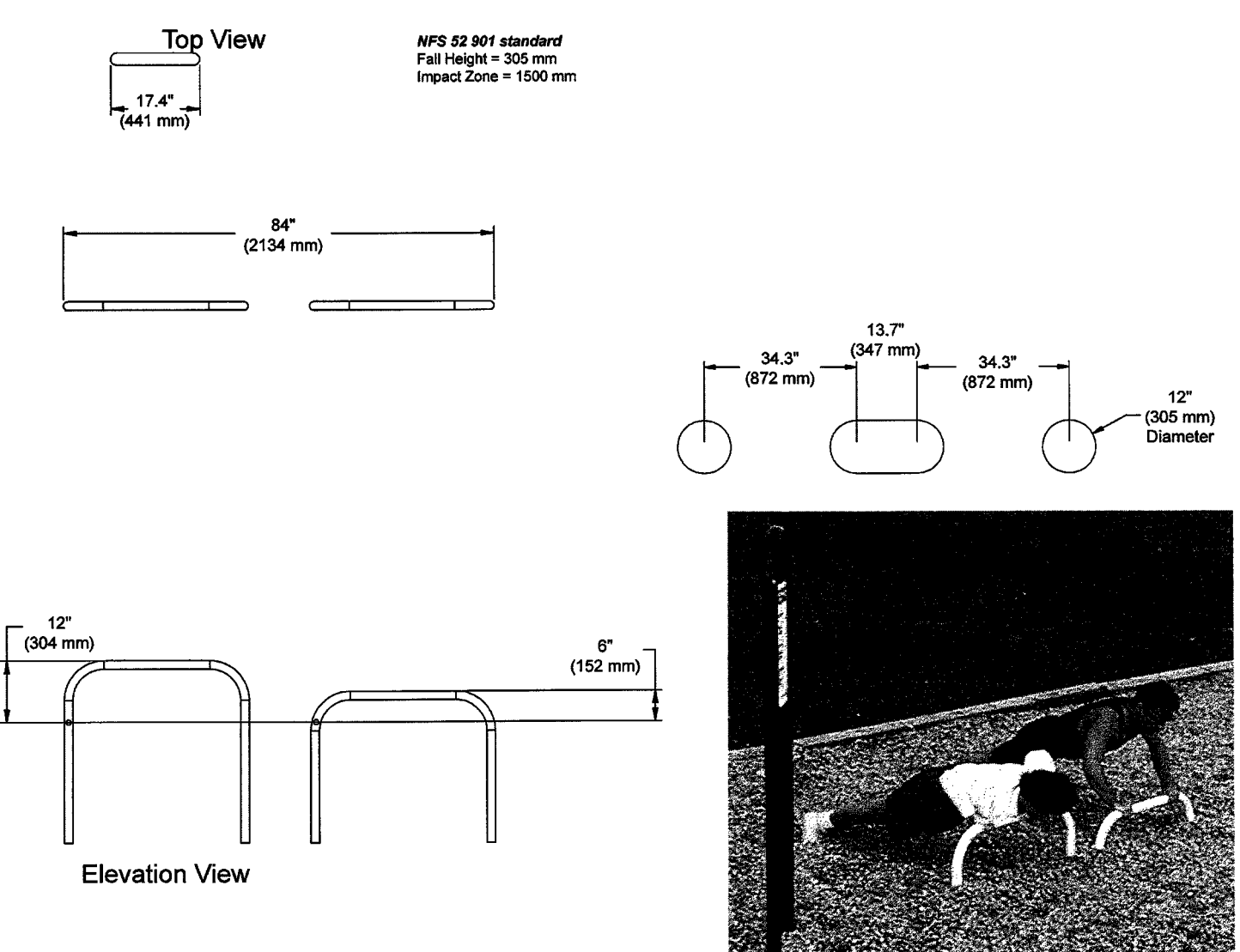
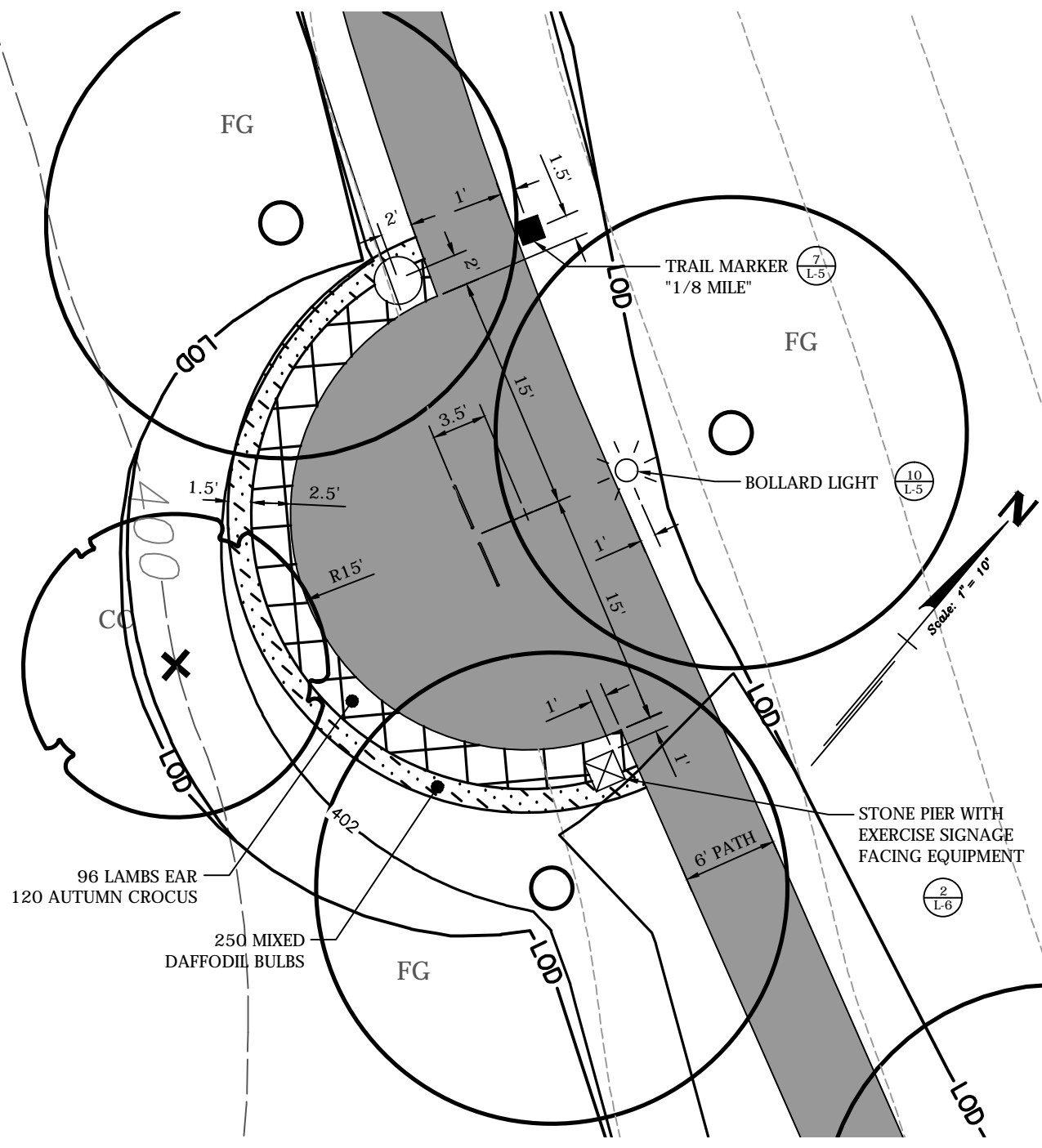
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L-4
SHEET No. 10 of 12



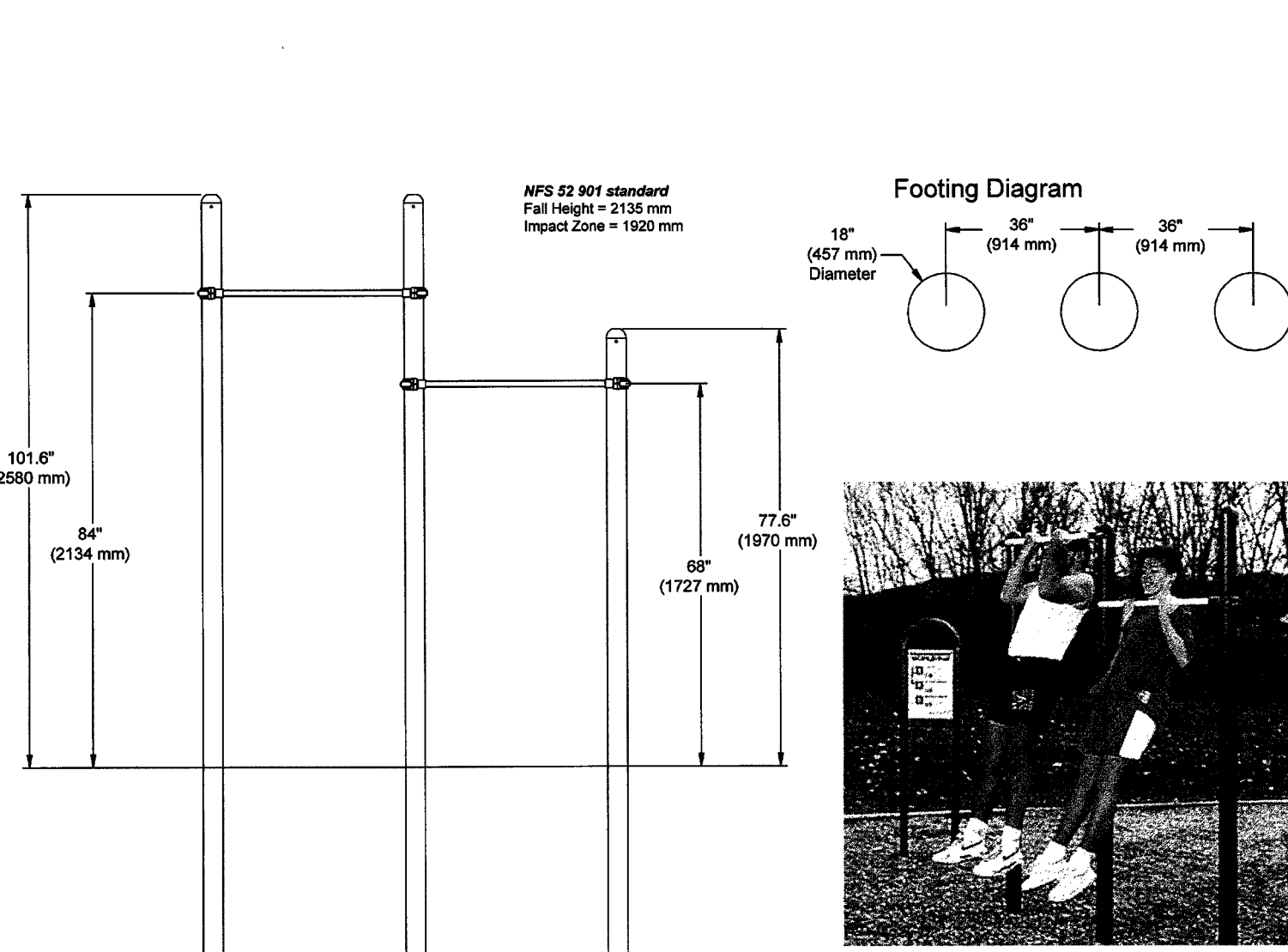
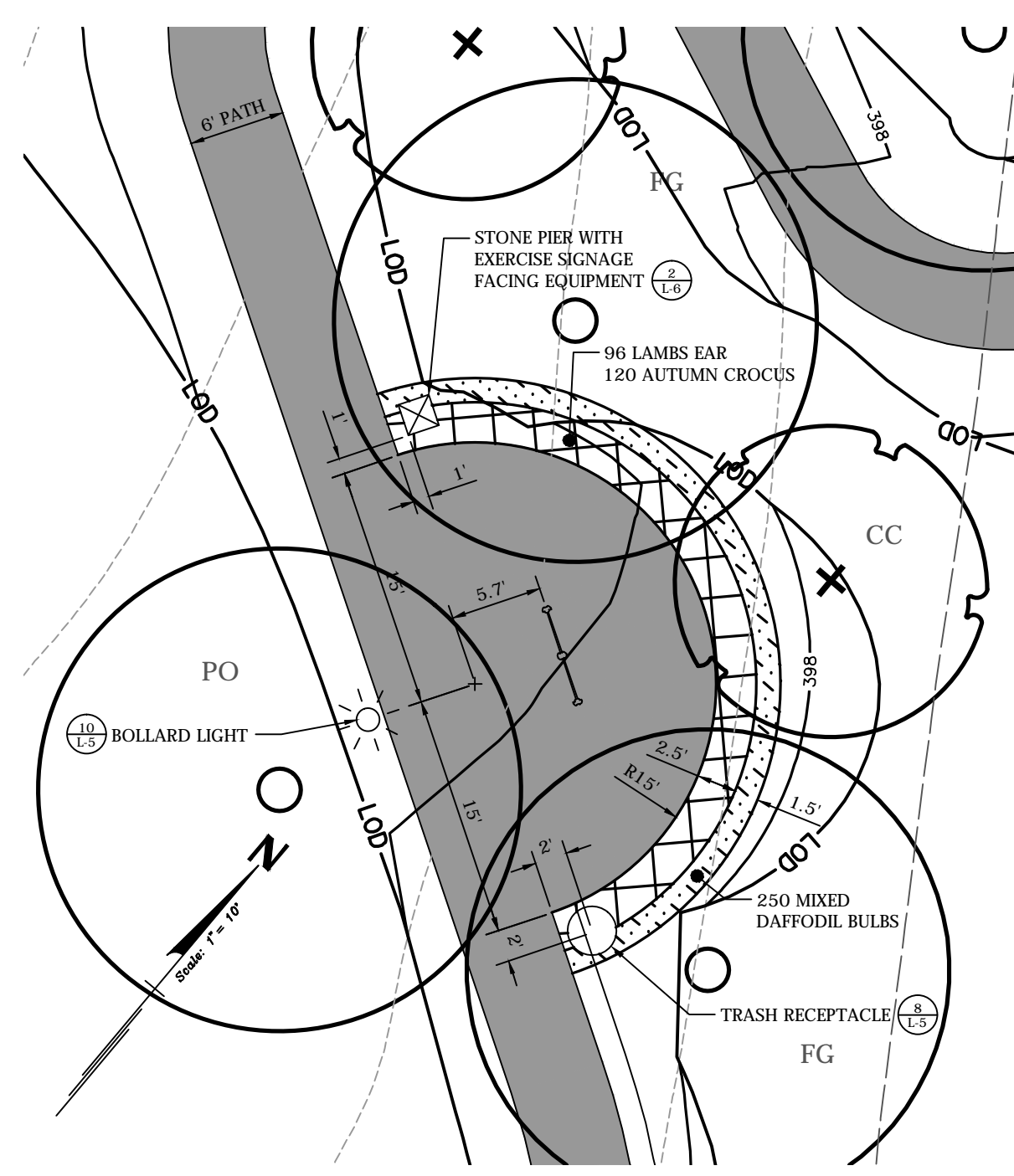
Playworld Systems
Models WT00130, WT00135
WorldTrail - Step-up Station
(or approved equal)

1 EXERCISE STATION A
NTS

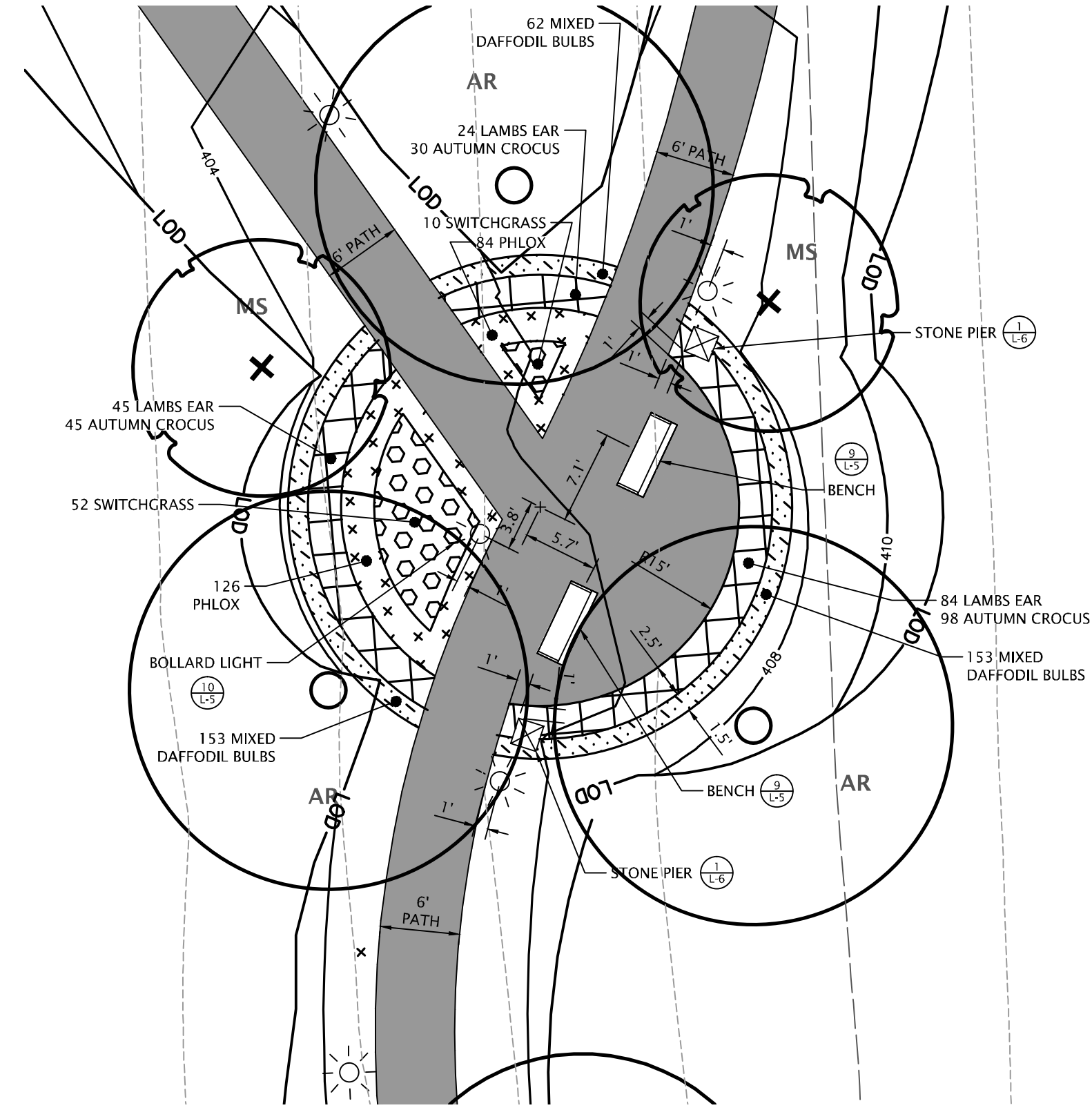


Playworld Systems
Models WT00220, WT00225
WorldTrail - Push-up Station
(or approved equal)

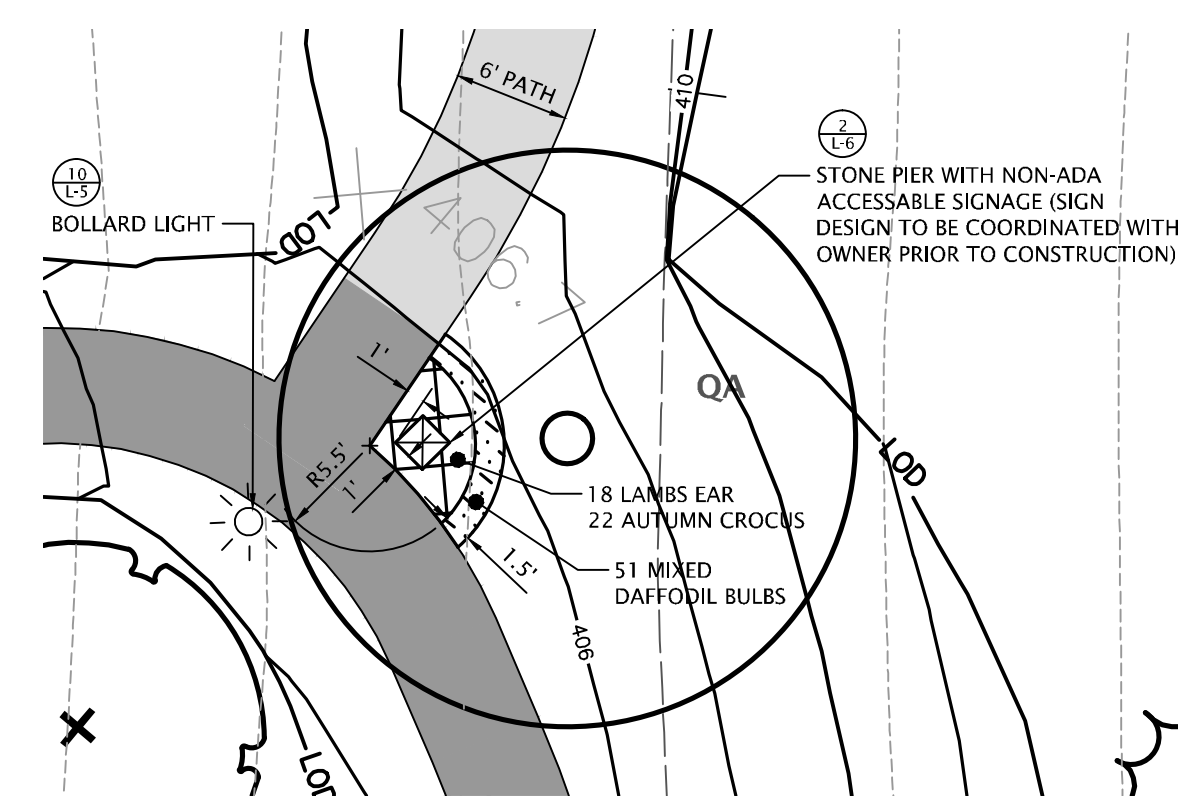
2 EXERCISE STATION B
NTS



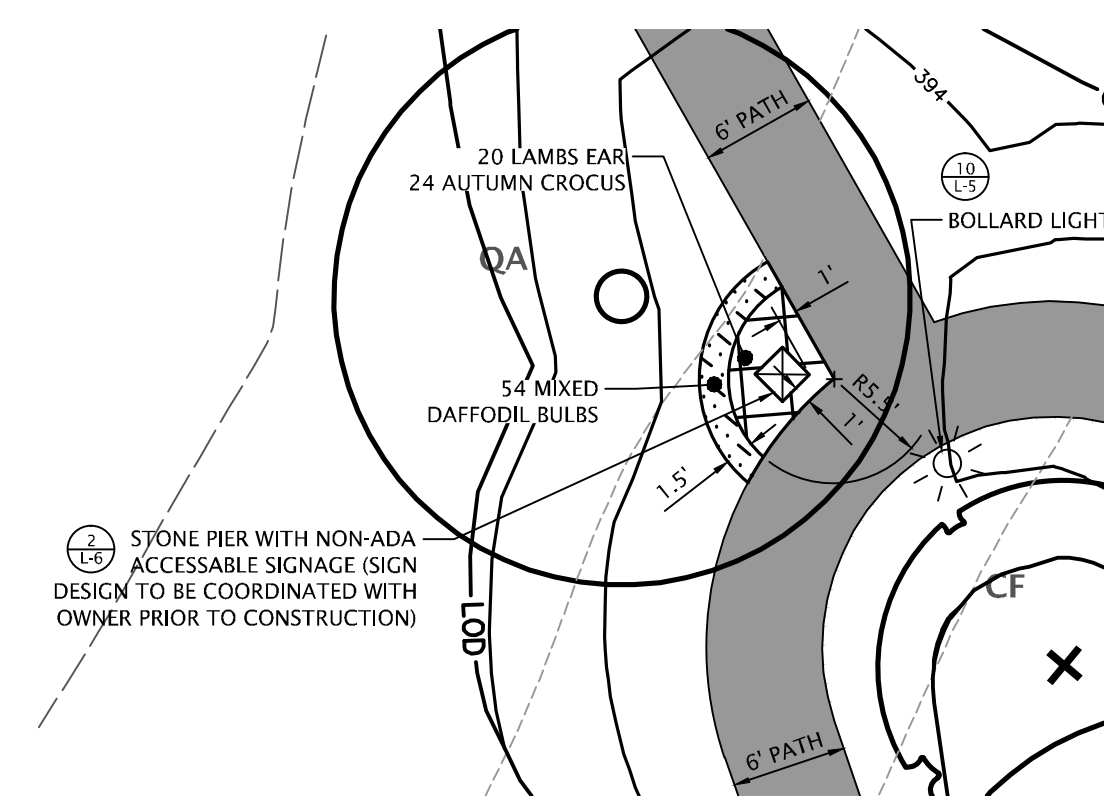
3 EXERCISE STATION C
NTS



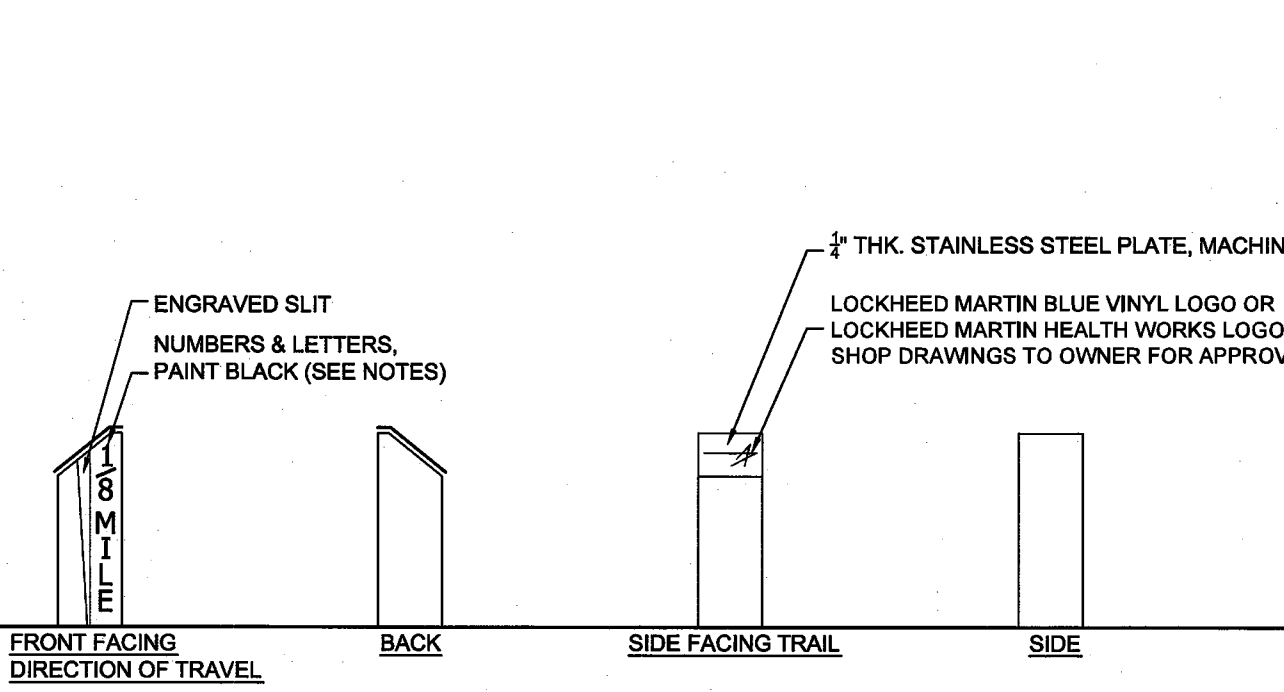
4 SITTING AREA
1" = 10'



5 PATH INTERSECTION A
1" = 10'

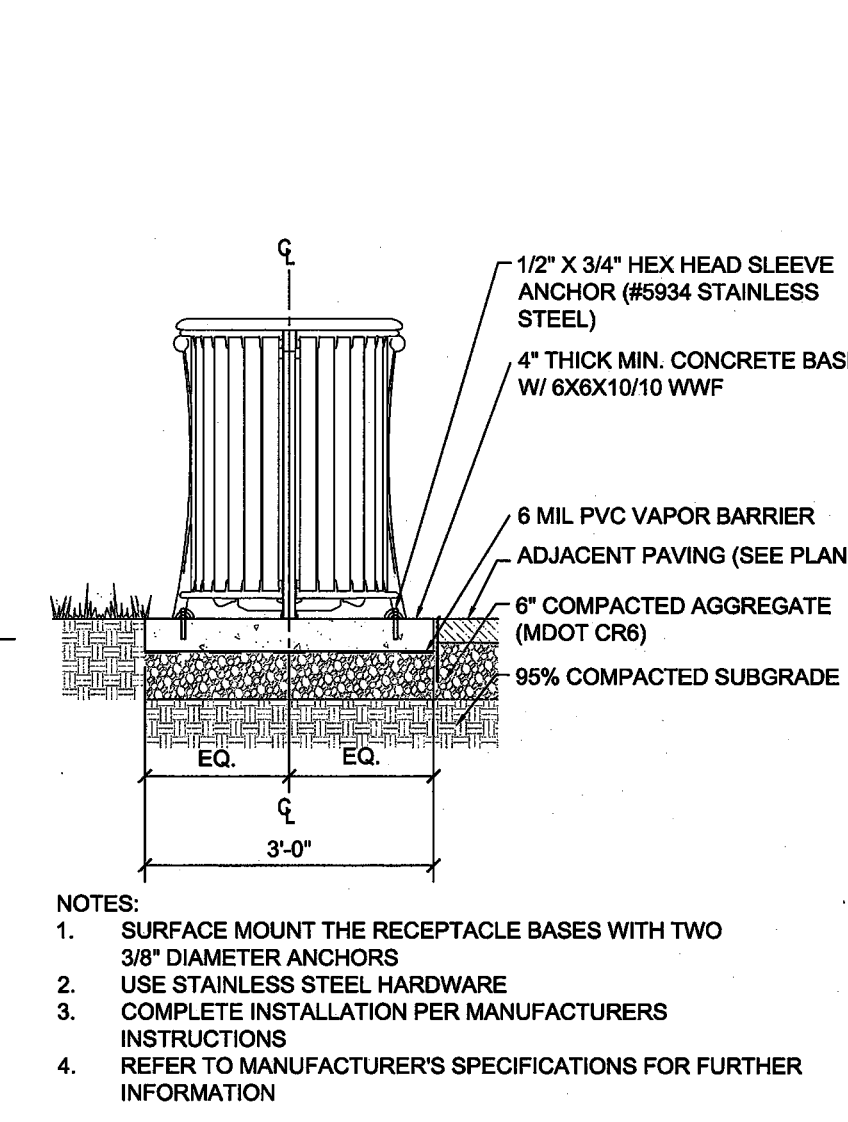
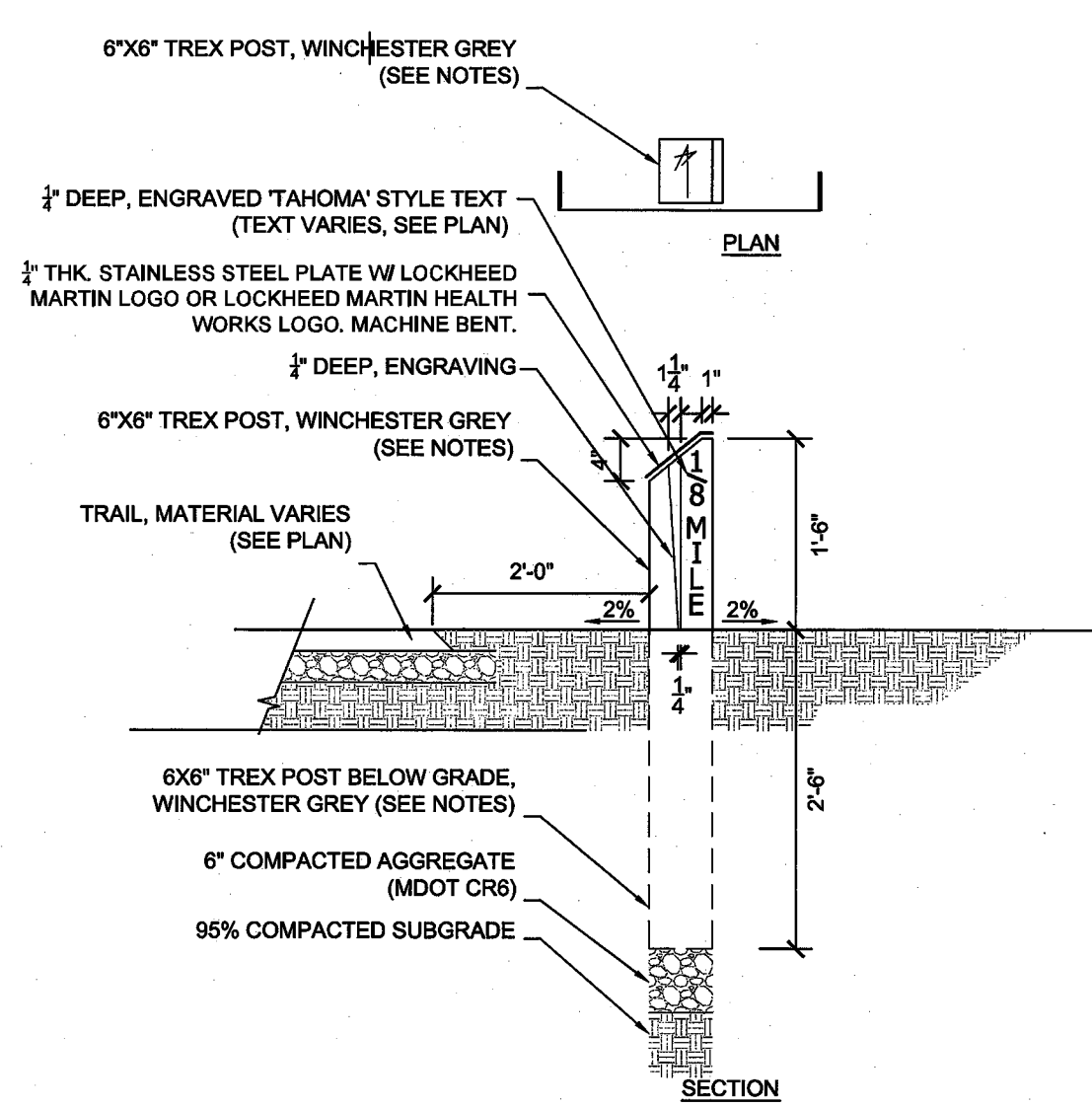


6 PATH INTERSECTION B
1" = 10'

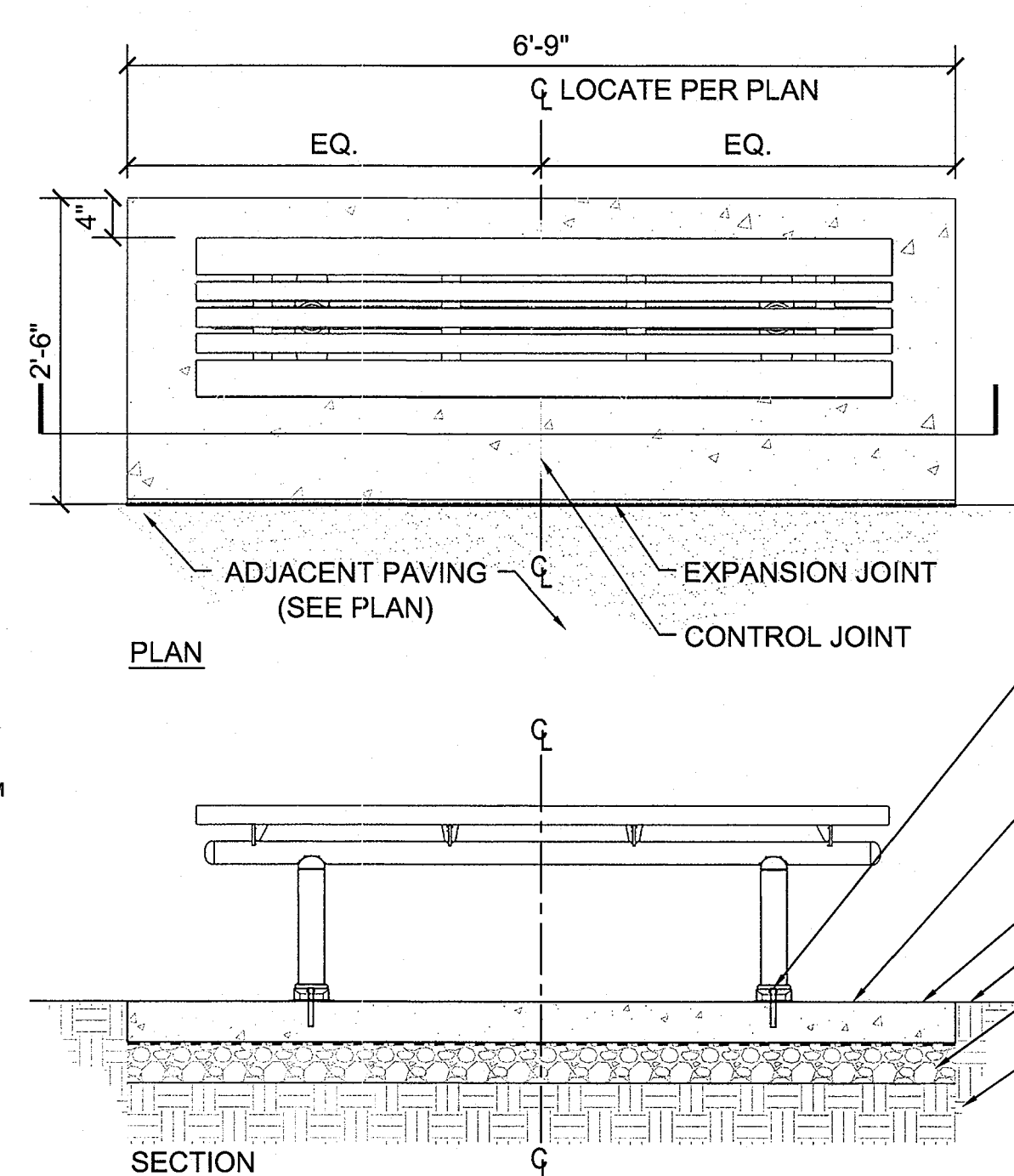


TRAIL MARKER NOTES:
1. SEE 1A-S FOR MATERIAL, TEXT STYLE, & ENGRAVING
2. POST TO BE MANUFACTURED BY TREX COMPANY, INC. 1-800-288-8739
3. NUMBERS SHOWING MILE MARKER INCREMENT TO INCREASE BY 1/8 MILE. SEE PLAN FOR TEXT CONTENT & TRAIL MARKER LOCATIONS.
4. PAINT TO BE EXTERIOR GRADE LATEX PAINT.
5. STAKE OUT LOCATIONS FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO INSTALLATION.

7 TRAIL MARKER
NTS



8 TRASH RECEPTACLE
NTS

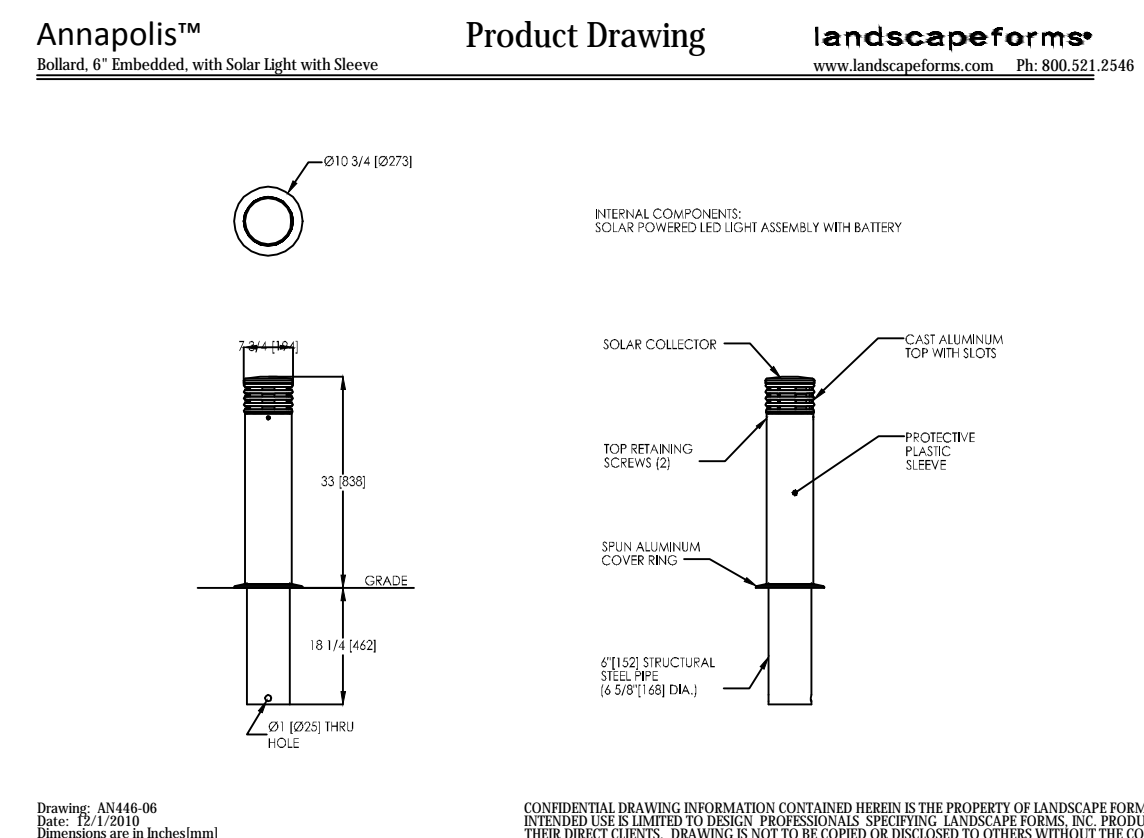


9 BENCH
NTS

MANUFACTURER:
BARCO PRODUCTS
CARPINTERIA, CA
TEL: (800)-338-2897
WWW.BARCOPRODUCTS.COM
MODEL:
PAXTON BACKLESS BENCH 02JA1298
RECYCLED PLASTIC
COLOR/FINISH:
CEDAR
INSTALLATION:
INSTALL PER MANUFACTURER'S
WRITTEN SPECIFICATIONS.
(OR APPROVED EQUAL)

M8 X 16MM STAINLESS STEEL TRUSS
HEAD SOCKET SCREW (INSTALL PER
MANUFACTURER'S INSTRUCTIONS)
4" THICK MIN. CONCRETE BASE
W/ 6X6X10/10 WWF
6 MIL PVC VAPOR BARRIER
ADJACENT GRADE (SEE PLAN)
6" COMPACTED AGGREGATE (MDOT CR6)
95% COMPACTED SUBGRADE

FOR LOCATION OF UTILITIES CALL
"MISS UTILITY" AT 1-800-257-7777
OR LOG ON TO
<http://www.missutility.net/itices/>
48 Hours in Advance of Any Work in this Vicinity



10 BOLLARD LIGHT (OR APPROVED EQUAL)
NTS

CITY OF GAITHERSBURG
PLANNING AND CODE ADMINISTRATION
31 S. SUMMIT AVE. GAITHERSBURG, MARYLAND 20877
STAFF APPROVAL
THE CITY OF GAITHERSBURG PLANNING STAFF
HEREBY GRANTS STAFF APPROVAL FOR
APPLICATION NO. ST-
WITH () CONDITIONS. SEE S.D.A. LETTER.
DATE BY

REVISION	DATE	REVISION	DATE	REVISION	DATE

Owner/Developer:
LOCKHEED MARTIN CORPORATION
700 N. Frederick Avenue
Gaithersburg, MD 20879
Phone: (301)240-5921
Contact: Kerry Drews

LANDSCAPE AND FOREST CONSERVATION DETAILS

RODGERS
CONSULTING
Knowledge • Creativity • Enduring Values

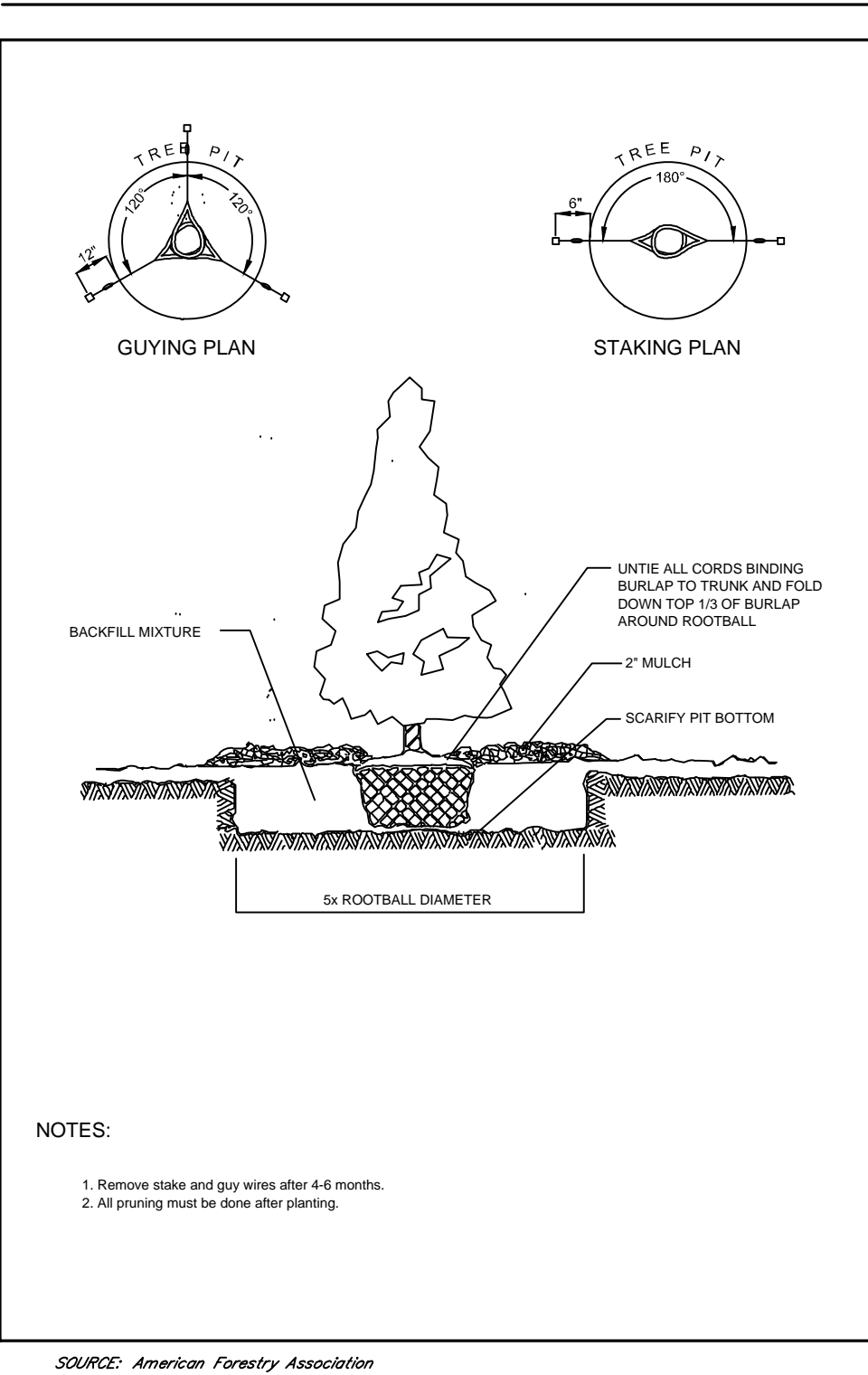
19847 Century Boulevard
Suite 200
Gaithersburg, Maryland 20874
Ph: 301.948.4700 (Main)
Ph: 301.253.6609 (Frederick)
Fx: 301.948.6256
www.rodggers.com

BASE DATA	BY	DATE
DESIGNED		
DRAWN		
REVIEWED		
RODGERS CONTACT:		
RELEASE FOR		
BY: _____	DATE: _____	

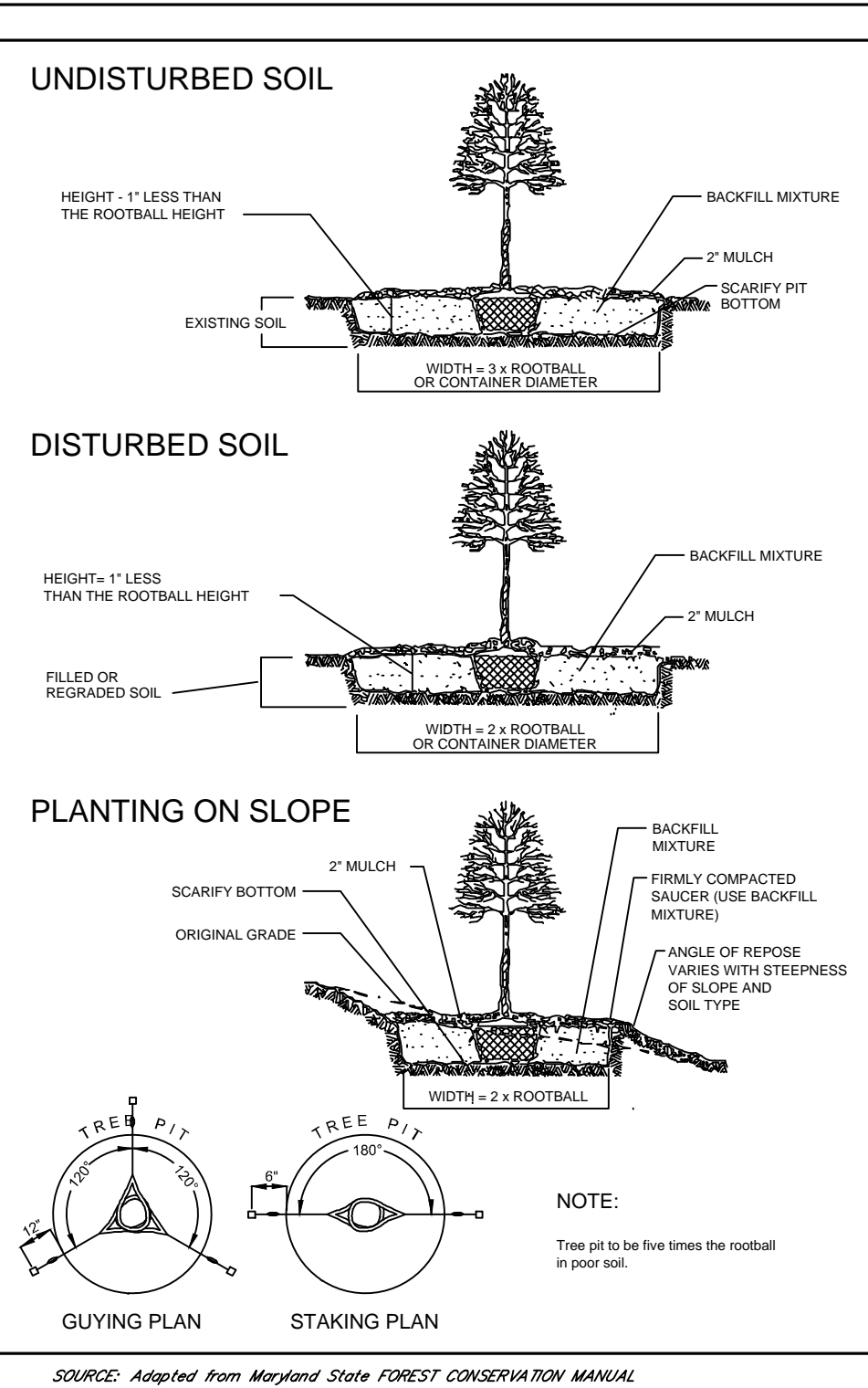
SITE PLAN AMENDMENT
LOCKHEED MARTIN
PARCEL N120, PART OF PARCEL C, IBM SUBDIVISION,
RECORD PLAT NO. 19929, TAX MAP FT 32
CITY OF GAITHERSBURG, MONTGOMERY COUNTY, MARYLAND

SCALE: 1" = 30'
JOB No. 819C
DATE: OCT., 2011
L-5
SHEET No. 11 of 12

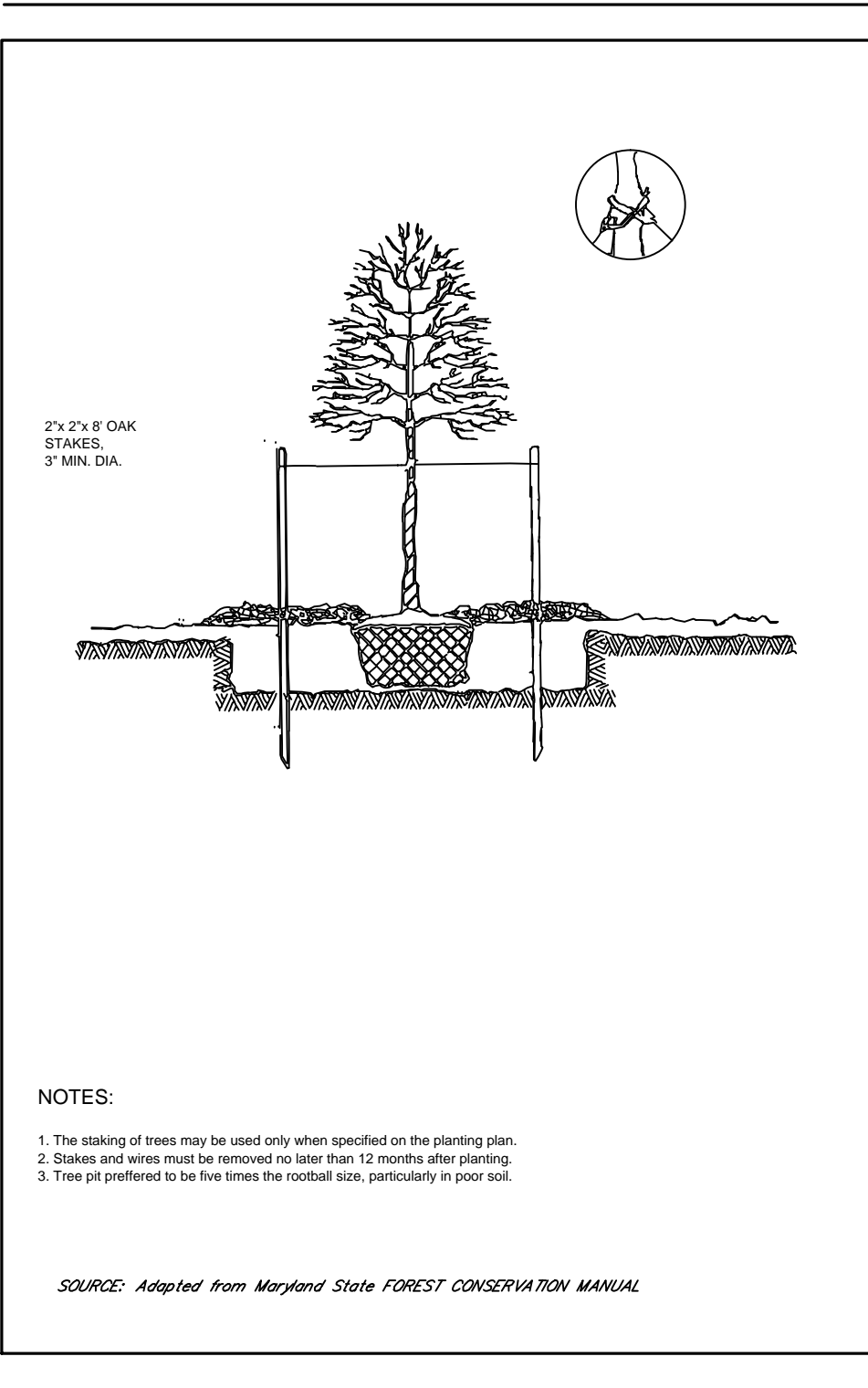
EVERGREEN TREE PLANTING



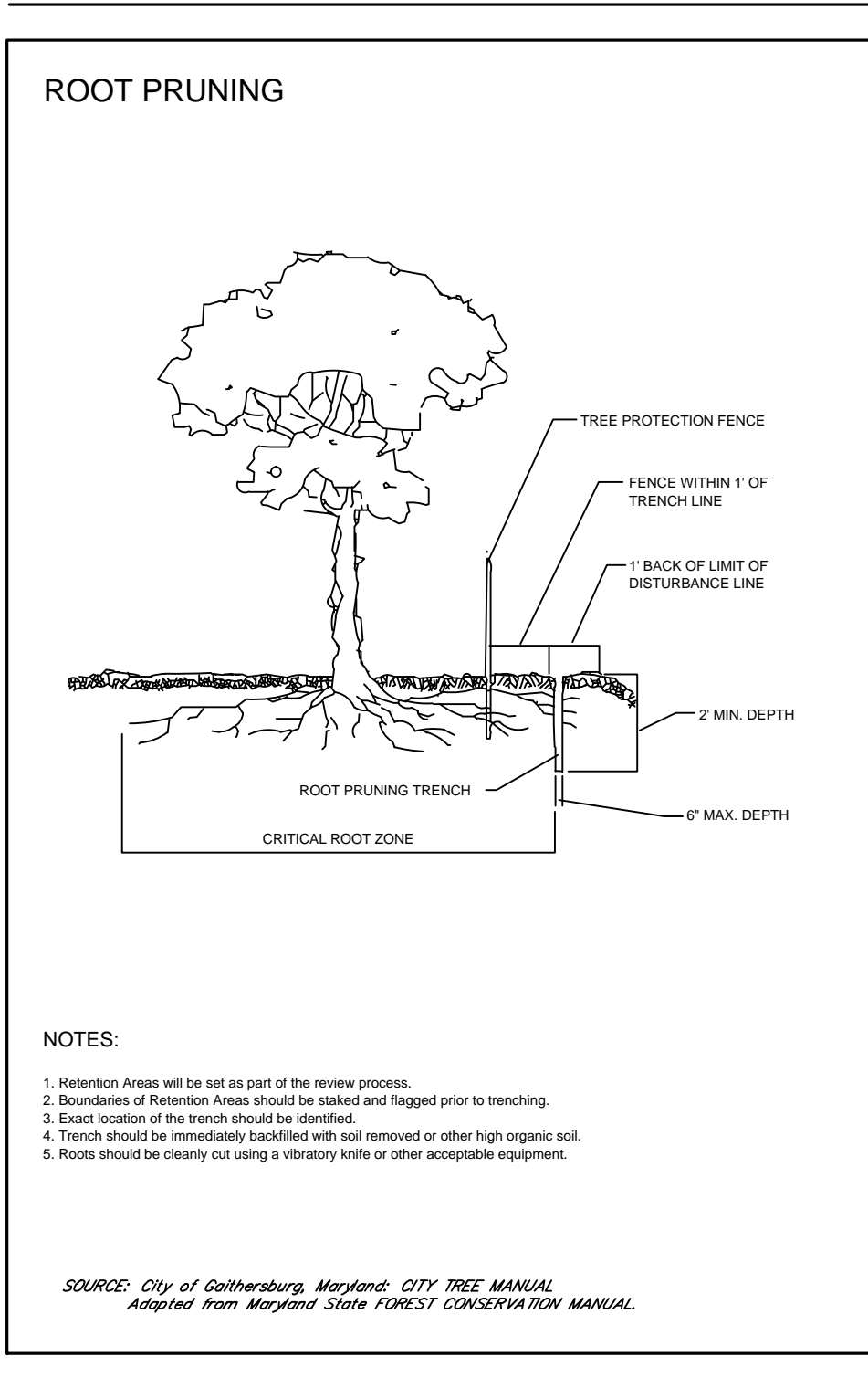
DECIDUOUS TREE PLANTING CONTAINER GROWN AND BALLED & BURLAPPED STOCK



STAKED TREE SPECIFICATION (2)



STRESS REDUCTION MEASURE (3)



TREE PLANTING AND MAINTENANCE CALENDAR

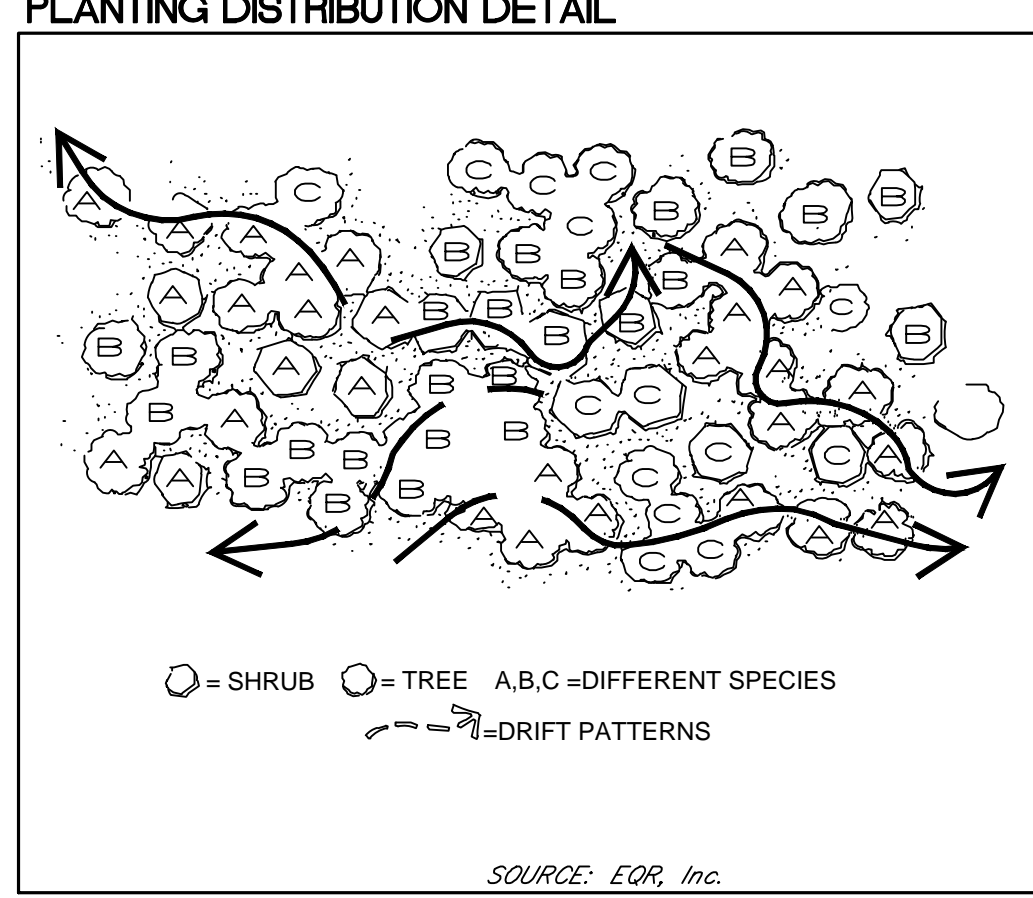
TASKS	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEPT	OCT	NOV	DEC
TRANSPLANT OF 2" OR LARGER												
PLANTING SEEDLINGS, WHIPS												
MINIMUM MONITORING												
FERTILIZER (IF NEEDED)												
WATER												
PRUNING												

KEY:
+ ACTIVITIES DURING THESE MONTHS ARE DEPENDENT UPON GROUND CONDITIONS
- DEPENDENT UPON SITE CONDITIONS
- DEPENDENT UPON SITE CONDITIONS WEEKLY WATERING IS GREATLY RECOMMENDED FROM MAY THROUGH OCTOBER UNLESS WEEKLY RAINFALL EQUALS 1"

NOTE: The planting and care of trees is most successful when coordinated with the local climatic conditions. This calendar summarizes some of the recommended time frames for basic maintenance and stress reduction activities.

SOURCE: Adapted from Maryland State FOREST CONSERVATION MANUAL

PLANTING DISTRIBUTION DETAIL



FOREST CONSERVATION WORKSHEET:

FOREST CONSERVATION WORKSHEET						
Lockheed Martin Gaithersburg						
5-Aug-02						
NET TRACT AREA:						
A. Total tract area						43.95
B. Land dedication acres (parks, county facility, etc.)						0.00
C. Land dedication for roads or utilities (not being constructed by this plan)						0.00
D. Area to remain in commercial agricultural production/use						0.00
E. Other deductions (specify)						0.00
F. Net Tract Area						43.95
LAND USE CATEGORY: (from Trees Technical Manual)						
Input the number "1" under the appropriate land use, limit to only one entry.						
	ARA	MDR	IDA	HDR	MPD	CIA
	0	0	0	0	0	1
G. Afforestation Threshold						15% x F = 6.59
H. Conservation Threshold						15% x F = 6.59
EXISTING FOREST COVER:						
I. Existing forest cover						3.76
J. Area of forest above afforestation threshold						0.00
K. Area of forest above conservation threshold						0.00
BREAK EVEN POINT:						
L. Forest retention above threshold with no mitigation						0.00
M. Clearing permitted without mitigation						0.00
PROPOSED FOREST CLEARING:						
N. Total area of forest to be cleared						0.00
O. Total area of forest to be retained						3.76
PLANTING REQUIREMENTS:						
P. Reforestation for clearing above conservation threshold						0.00
Q. Reforestation for clearing below conservation threshold						0.00
R. Credit for retention above conservation threshold						0.00
S. Total reforestation required						0.00
T. Total afforestation required						2.83
U. Credit for landscaping (may not exceed 20% of "S")						0.93
V. Total reforestation and afforestation required						1.90
*3.76 includes 0.46 acres of existing forest and 3.30 acres of existing canopy for forest conservation credit.						

FOREST CONSERVATION SUMMARY:

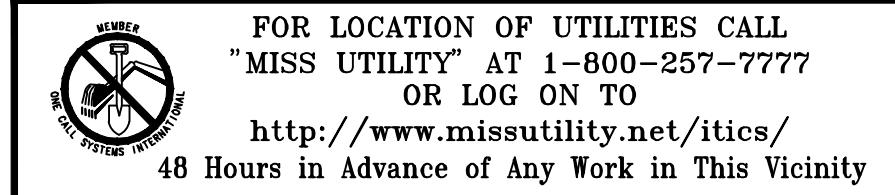
Existing Forest:	0.46 acres (per approved NRI/FSD)
Existing Canopy:	3.30 acres (per approved NRI/FSD)
Proposed Trees in SVB:	1.90 acres (per this plan)
Proposed Canopy Credit:	0.93 acres (per this plan)
TOTAL:	6.59 acres

PROPOSED LANDSCAPE PLANT LIST

KEY	QUAN	BOTANICAL NAME	COMMON NAME	SIZE/REMARKS	TYPE	FOREST CONSERVATION CREDIT (sf)(EA)	FC CREDIT TOTAL (sf)
AR	8	Acer rubrum	Red Maple	2-2.5' Cal.	B&B	1000	8000
FG	5	Fagus grandifolia	American Beech	2-2.5' Cal.	B&B	1000	5000
PO	8	Platanus occidentalis	Sycamore	2-2.5' Cal.	B&B	1000	8000
QA	7	Quercus alba	White Oak	2-2.5' Cal.	B&B	1000	7000
QR	6	Quercus rubra	Red Oak	2-2.5' Cal.	B&B	700	4200
CC	4	Cercis canadensis	Redbud	2-2.5' Cal.	B&B	300	1200
CF	4	Cornus florida	Flowering Dogwood	2-2.5' Cal.	B&B	300	1200
KP	4	Magnolia x soulangeana	Saucer Magnolia	2-2.5' Cal.	B&B	300	1200
AC	3	Abies concolor	White Fir	6' height	B&B	700	2100
JV	3	Juniperus virginiana	Eastern Redcedar	6' height	B&B	300	900
MP	1	Magnolia grandifolia	Southern Magnolia	6' height	B&B	300	300
PP	2	Picea pungens glauca	Colorado Blue Spruce	6' height	B&B	700	1400
				Total Canopy		0.93 acres	40500
							0.93 acres
GROUND	COVER	NO FOREST CONSERVATION	CREDIT PROPOSED				
	60	Panicum virgatum	Switchgrass	1-3 gal.	Cont.	18" spacing	
	126	Phlox stolonifera	Phlox	1-3 gal.	Cont.	18" spacing	
	1282	Narcissus spp.	Daffodil Mixture	Bulb	Bare	Space 9" staggered	
	320	Stachys byzantia	Lamb's Ear	3-6" Pot	Cont.	Space 18" staggered	
	580	Colchicum autumnale	Autumn Crocus	Corm	Bare	Space 9" staggered	

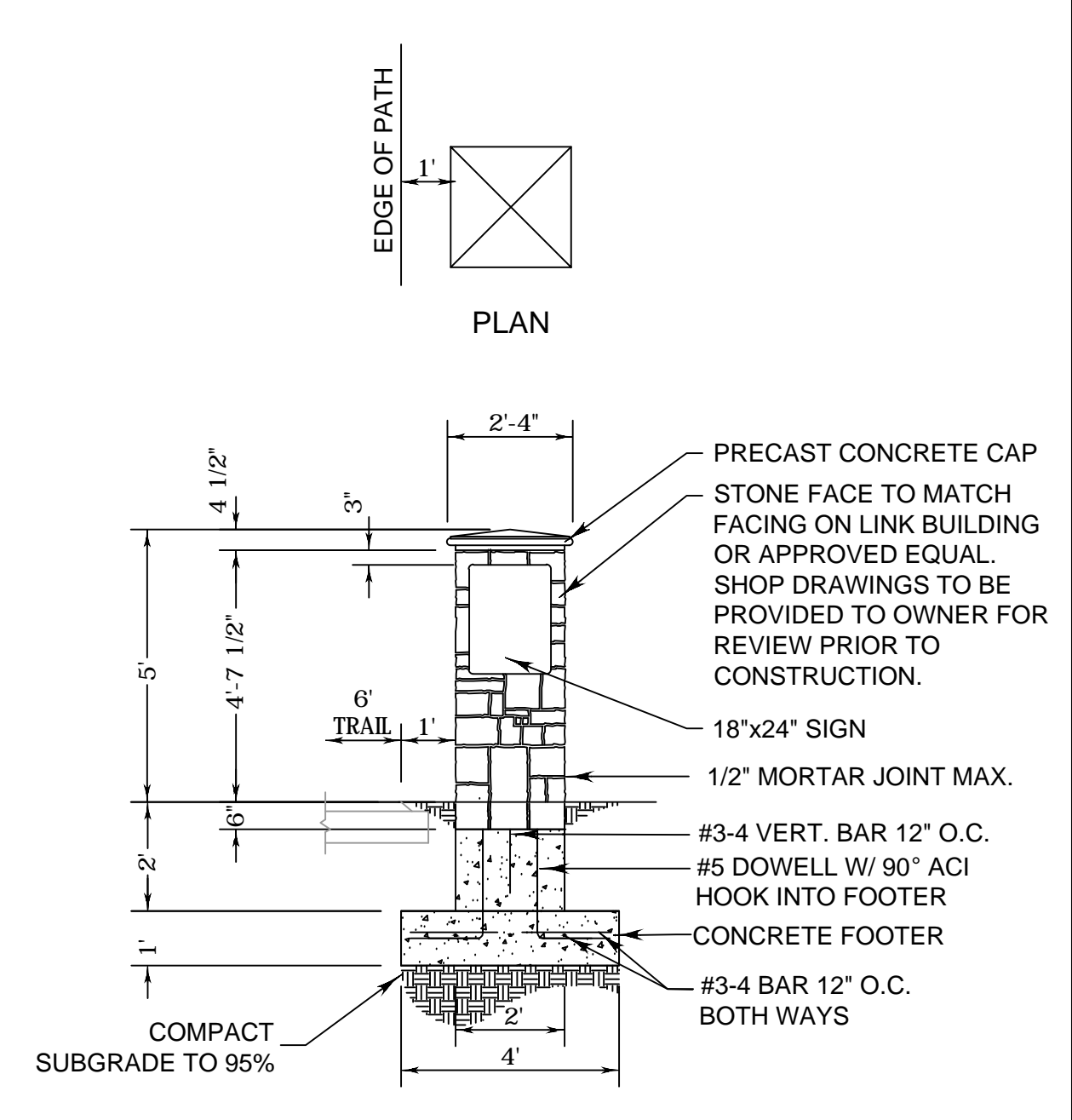
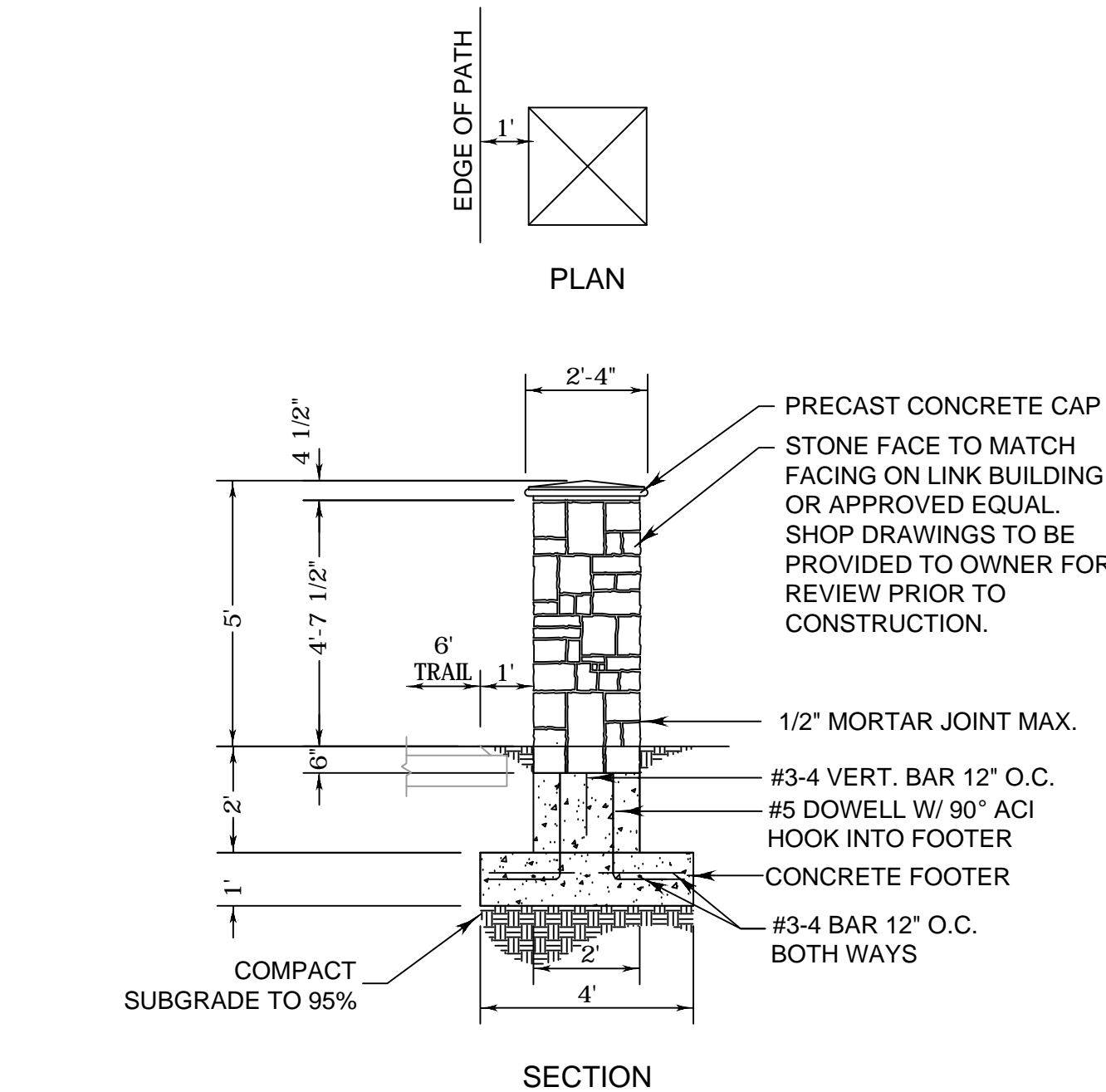
EXISTING CANOPY CREDIT FOR FC: (PER APPROVED NRI)

Tree (Common)	Symbol	Latin Name	Quantity	Credit/Tree	Total Credit
Blue Atlas Cedar	BC	Cedrus atlantica 'Glaucua'	2	300	600
Yoshino Cherry	YC	Prunus x yedoensis	9	700	6300
Crabapple	CA	Malus spp.	4	300	1200
Flowering Dogwood	FD	Cornus florida	9	300	2700
Honeylocust	HL	Gleditsia triacanthos	3	700	2100
Norway Maple	NM	Acer platanoides	47	1000	47000
Red Maple	RM	Acer rubrum	13	1000	13000
Pin Oak	PO	Quercus palustris	16	700	11200
Willow Oak	WO	Quercus phellos	5	700	3500
Galleria Pear	CP	Pyrus calleryana	4	300	1200
White Pine	WP	Pinus strobus	62	700	43400
Scotch Pine	SP	Pinus sylvestris	1	700	700
Eastern Redbud	ER	Cercis canadensis	2	300	600
Colorado Blue Spruce	BS	Picea pungens var glauca	3	700	2100
Norway Spruce	NS	Picea abies	3	700	2100
Sycamore	SY	Platanus occidentalis	1	1000	1000
Willow	WI	Salix spp.	5	1000	5000
				Total Canopy	143700 SF
					3.30 AC



FOREST CONSERVATION INSPECTION PROCEDURES

- Upon permit issuance, the builder/developer must arrange for an engineers' stake out of tree protection in accordance with approved plans. A preconstruction meeting will then be scheduled to determine the location of tree protection devices. The Planning and Code Administration inspector shall adjust tree protection and root pruning in the field as necessary, which may expand or decrease the area being protected. Installation of all tree protection devices should be scheduled and an inspection arranged with the City after all work is complete. The City will issue a punch list for any remaining work needed prior to the start of grading, or issue a report approving the start of grading.
- Once work begins on-site, the tree protection devices will be reinspected on a biweekly basis, and the builder/developer will be notified of any work that is needed. It shall be the builder/developer's responsibility to maintain all tree protection devices and make any repairs needed.
- City approval is required prior to removal of any tree protection device or entrance into a tree save area. **Tree save areas cannot be used for storage of any building materials.**
- The Planning and Code Administration inspector may require pruning and removal of any tree in the tree save area during construction and prior to bond release. These decisions will be based on the trees' health, proximity to buildings, drainage, or other concerns. Every effort will be made to preserve those trees in the tree save area.
- The City will require mitigation of trees lost during construction in accordance with the Forest Conservation Ordinance. Mitigation will be required prior to bond release, and all replacement trees must be inspected by the City after installation. These replacement trees shall have a one-year guarantee in accordance with the industry standards. The City may also allow the developer to escrow monies for mitigation to satisfy their obligation, which will be used by the City to purchase and install the replacement trees.
- For mitigation and afforestation, City inspection is required after the plantings have been made. The maintenance period, one year or as stated in the maintenance agreement, will not begin until this inspection has been made. Quarterly reports to the City, if required, on the health of the trees in the save area should also be made, and any recommendations implemented. It shall be the builder/developer's responsibility to maintain these plantings until they are accepted by the City. A final inspection by the City will be made prior to the end of the maintenance period, and a punch list developed for any trees that need to be replaced. The City may allow the developer to escrow monies to satisfy their obligation for any further planting required, which will be used by the City to purchase and install the replacement trees.
- It shall be the builder/developer's responsibility to satisfy all requirements and conditions of the Forest Conservation Plan and/or any maintenance agreement. In the event of a violation, the City will take enforcement action in accordance with the Trees and Forest Conservation Ordinance (Chapter 22) of the City Code. This may include correction notices, civil citations, or collection of the bond guaranteeing this work.



- General Notes. The following general notes must be placed on all landscape plans where relevant:
a. Individual homeowners must be notified at least one week prior to installation of plants on lots that have an occupied dwelling.
b. Unless otherwise stipulated by specific requirements of this manual, the landscaping shown on this plan must be planted in accordance with the latest edition of Landscape Specification Guidelines, developed by the MD-DC-VA Chapter of the Landscape Contractors Association.
c. All trees are to be located a minimum distance of 5 feet from all utility boxes, 5 feet from a storm drain inlet or man-hole, 10 feet from a fire hydrant, 15 feet from public street lights, 5 feet from driveway aprons, 20 feet from any traffic control sign, and at least 30 feet from any intersection.
d. Locations of street trees may be subject to change in order to avoid conflict with street lighting.
e. Any planting within a forest retention area, as designated on the forest conservation plan and shown on this plan, must be done to avoid any adverse impact to the roots of existing trees.
f. Plant type substitutions are permitted with verbal or written approval from the Planning and Code Administration.
g. All plant material will be reinspected for survival by the Planning and Code Administration one year following installation. A 10 percent maintenance bond will be retained during this time period.
h. All plants must meet the standards of the latest edition of American Standard for Nursery Stock sponsored by the Association of American Nurserymen.
i. No plant shall be located in areas of obvious poor drainage. If such conditions exist, contact the landscape architect immediately to relocate affected plant materials.
j. Soil conditions must be tested, verified and adjusted by the landscape contractor to insure that appropriate soil composition and pH levels are suitable for plant materials specified for that specific location.

- The following notes:
a. Pre-construction meeting, held on-site to include a presentation of protective measures to construction supervisors, equipment operators, developer's representative, and site and sediment control inspectors.
b. Clearing limits shall be rough staked by developer in order to facilitate location for trenching and fencing installation.
c. No clearing or grading shall begin in areas where tree treatment and preservation measures have not been completed.
d. The sequence of tree treatment and conservation measures shall be:
1) Root pruning/trenching
2) Tree protection fencing
3) Aeration system installation
4) Sign installation
5) Tree pruning and chemical treatment
6) Mulch treatment
e. Above measures shall be directed in the field by the project forester, arborist, naturalist, ecologist, site engineer or landscape architect.
f. Tree protection fencing shall be maintained and repaired by the developer or contractor for the duration of construction and once approved by the city site inspector, must not be altered without prior approval by the city site inspector.
g. Access to fenced areas will only be permitted with the prior approval of the owner's representative and the city site inspector.
h. Designated retention zones shall be protected with temporary fencing until final grading.
i. Any excavation or grading required within the fenced areas shall be done as directed and approved by the person mentioned in note # 5 and the city site inspector.
j. Trees, shrubs, or undergrowth shall be removed from the protected root zone areas only when necessary and shall be removed by hand.
k. Refer to tree protection action key for specific treatment of each specimen tree.
l. Attachment of signage, fencing, etc., to trees to be saved is prohibited.
m. After construction, all temporary barriers, fencing, debris, etc., shall be removed from the site by the contractor.
n. No sod or seed shall be planted within the designated root zones for all trees to be saved.

Stream Valley Buffer Planting

QTY	BOTANICAL NAME	COMMON NAME	SIZE/REMARKS	TYPE	FOREST CONSERVATION CREDIT (EA)	TOTAL FC CREDIT
12	Acer rubrum	Red Maple	2-2.5' Cal.	B&B	1000	12000
12	Betula nigra	River Birch	2-2.5' Cal.	B&B	300	3600
12	Liriodendron tulipifera	Tulip Poplar	2-2.5' Cal.	B&B	700	8400
12	Liquidambar styraciflua	Sweet Gum	2-2.5' Cal.	B&B	700	8400
12	Platanus occidentalis	Sycamore	2-2.5' Cal.	B&B	1000	12000
11	Salix babingtonia	Weeping Willow	2-2.5' Cal.	B&B	1000	11000
12	Quercus phellos	Willow Oak	2-2.5' Cal.	B&B	700	8400
12	Ambrosia artemisiifolia	Servicetree	2-2.5' Cal.	B&B	300	3600
12	Cornus florida	Flowering Dogwood	2-2.5' Cal.	B&B	300	3600
12	Carpinus caroliniana	Muscledwood	2-2.5' Cal.	B&B	1000	12000
					Total Canopy Area	83000
						1.91 Acres

Distribute trees throughout planting area, approximately 20-30' on center.

LANDSCAPE AND FOREST CONSERVATION DETAILS



19847 Century Boulevard
Suite 200
Gaithersburg, Maryland 20874
Ph: 301.948.4700 (Main)
Ph: 301.233.4609 (Frederick)
Ph: 301.948.6256
www.rodgers.com

BY	DATE
DESIGNED	
DRAWN	
REVIEWED	
RELEASED FOR	
BY	DATE

SITE PLAN AMENDMENT

LOCKHEED MARTIN
PARCEL N120, PART OF PARCEL C, IBM SUBDIVISION,
RECORD PLAT NO. 19929, TAX MAP FT 32
CITY OF GAITHERSBURG, MONTGOMERY COUNTY, MARYLAND

SCALE: AS SHOWN
JOB No. 819C
DATE: OCT., 2011
L-6
SHEET No. 12 of 12