

# 7811 MONTROSE RD

POTOMAC, MD

## DRAWING LIST

### GENERAL

G0.01 COVER SHEET

### STRUCTURAL

S1.011 PART. OF 2ND FL. PLAN AND SECTION

### ARCHITECTURAL

A1.10 SITE PLAN  
A1.40 FINISH SCHEDULE  
A2.01 FIRST & SECOND FLOOR DEMOLITION PLANS  
A2.21 FIRST FLOOR PLAN  
A2.22 SECOND FLOOR PLAN  
A3.01 SOUTH ELEVATION  
A3.10 ELEVATION & BUILDING SECTION  
A5.01 DEMOLITION SECTION DETAILS  
A5.10 PLAN & SECTION DETAILS  
A5.11 EXTERIOR PLAN & SECTION DETAILS  
A5.21 ENTRY CANOPY DETAILS  
A9.00 INTERIOR LOBBY ELEVATIONS  
A9.01 MILLWORK

### MECHANICAL

MPE-1 GENERAL SPECIFICATIONS  
M-1 MECHANICAL SYMBOLS, ABBREVIATIONS AND PARTIAL PLANS

### PLUMBING

P-1 PLUMBING SPECIFICATIONS, SYMBOLS, RISERS & ABBREVIATIONS  
P-2 FIRST & SECOND FLOOR DEMOLITION & NEW WORK PLANS

### ELECTRICAL

E-1 ELECTRICAL SPECIFICATIONS, SYMBOLS AND ABBREVIATIONS  
E-2 ELECTRICAL SITE PLAN  
E-3 ELECTRICAL FIRST & SECOND FLOOR DEMOLITION PLAN  
E-4 ELECTRICAL FIRST & SECOND FLOOR NEW WORK PLAN - LIGHTING  
E-5 ELECTRICAL FIRST FLOOR NEW WORK PLAN - POWER & FIRE ALARM  
E-6 ELECTRICAL PANEL SCHEDULE AND RISER DIAGRAM

## Project Image



## Abbreviations

ABBR	TERM	ABBR	TERM	ABBR	TERM	ABBR	TERM
#	AND	DW	DRYWALL	JAN	JANITOR	R	RADIUS
@	AT	DWG	DRAWING	JC	JANITORS CLOSET	RB	RESILIENT BASE
±	PLUS / MINUS	EA	EACH	JT	JOINT	RECT	RECTANGULAR
1SR5	ONE-PART SILICONE RUBBER SEALANT	EC	ELECTRICAL CONTRACTOR	L	LENGTH	REF	REFERENCE
2PUM5	TWO-PART POLYURETHANE MODIFIED SEALANT	ELEC	ELECTRICAL	LAM	LAMINATE	RZIN*	REINFORCING
2PUS	TWO-PART POLYURETHANE SEALANT	EM	ENTRANCE MAT	LAV	LAVATORY	REQD	REQUIRED
A.W.I.	ARCHITECTURAL WOODWORKING INSTITUTE	EPF*	EXPANDED POLYETHYLENE JOINT FILLER	LSB	LOADS	REV	REVISION
ABV	ABOVE	EQ	EQUAL	LN	LINEAR	R*	ROOF
ACOUS	ACOUSTICAL	EQUIP	EQUIPMENT	LT	LIGHT / LIGHTING	R*	RESILIENT FLOORING
ACT	ACOUSTICAL CEILING TILE	EX	EXISTING	MAR	MARBLE	RL	RELOCATED
ADA	ABOVE FINISHED FLOOR	EXH	EXHAUST	MAS	MASONRY	RM	ROOM
ADJ	ADJUSTABLE	EXP	EXPANSION	MAX	MAXIMUM	RO	ROUGH OPENING
AFP	ABOVE FINISHED FLOOR	FI	FURNISH AND INSTALL	MDF	MEDIUM DENSITY FIBER BOARD	RT	RESILIENT TILE
ALS	ACRYLIC LATEX SEALANT	FAB	FABRICATE	MDO	MEDIUM DENSITY OVERLAY	SAN	SANITARY
ALUM	ALUMINUM	FE	FIRE EXTINGUISHER	MECH	MECHANICAL	SC	SOLID CORE
ANOD	ANODIZED	FIN	FINISHED	MEMB	MEMBRANE	SF	SQUARE FOOT
AP	ACCESS PANEL	FLG	FLOORING	MFB	MANUFACTURED	SHT	SHEET
ASSEM	ASSEMBLY	FLR	FLOOR	MFR	MANUFACTURER	SIM	SIMILAR
AVG	AVERAGE	FLOR	FLORESCENT	MH	MANHOLE	SPEC	SPECIFICATION
BC	BRICK COURSE	FO	FACE OF	MIL	MILLIMETER	SQ	SQUARE
BITUM	BITUMINOUS	FP	FIREPROOFING	MIN	MINIMUM	SQ YD	SQUARE YARD
BKT	BRACKET	FR	FIRE RATED	MIRR	MIRROR	SS	STAINLESS STEEL
BLDG	BUILDING	FT	FOOT / FEET	MISC	MISCELLANEOUS	SSS	SILICONE SANITARY SEALANT
BLT-IN	BUILT-IN	FTG	FOOTING	MO	MASONRY OPENING	ST	STONE
CA	CONSTRUCTION ADMINISTRATOR	GA	GALVE	MENG	MOLDED RESILIENT NEOPRENE GASKET	STD	STANDARD
CAB	CABINET	GALV	GALVANIZED	MTL	METAL	STL	STEEL
CC	CEMENTITIOUS COATING	GC	GENERAL CONTRACTOR	MULL	MULLION	STRUC	STRUCTURE / STRUCTURAL
CCT	COVE CERAMIC TILE	GD5	GARAGE DISPOSAL	NIC	NOT IN CONTRACT	SUP	SUPPLY
CEM	CEMENT	GFRG	GLASS FIBER REINFORCED CONCRETE	NO	NUMBER	SUSP*	SUSPENDED
CJ	CONTROL JOINT	GL	GLASS / GLAZING / GLAZE	NOM	NOMINAL	SYM	SYMMETRICAL
CJF	CORK JOINT FILLER	GR	GRADE	NTS	NOT TO SCALE	SYS	SYSTEM
CL	CENTERLINE	GUT	GUTTER	OC	ON CENTER	TBD	TO BE DETERMINED
CLG	CEILING	GWB	GYPSSUM WALL BOARD	OD	OUTSIDE DIAMETER	TBS	TO BE SPECIFIED
CLR	CLR	GYP	GYPSSUM	OPF	OFFICE	TGL	TEMPERED GLASS
CMU	CONCRETE MASONRY UNIT	H	HIGH	OPG	OPENING	THD	THRESHOLD
COL	COLUMN	HCC	HANDICAPPED	OPP	OPPOSITE	THK	THICK
CONC	CONCRETE	HC	HOLLOW CORE	OZ	OUNCE	TYF	TYPICAL
CONN	CONNECTION	HD	HEAD	P	PAINT	UL	UNDERWRITERS LABORATORY
CONST	CONSTRUCTION	HDF	HIGH DENSITY FIBER BOARD	PO	POWDER	UNO	UNLESS NOTED OTHERWISE
CONT	CONTINUOUS	HDR	HARDWARE	PL	PROPERTY LINE <td>USG</td> <td>U.S. GYPSUM COMPANY</td>	USG	U.S. GYPSUM COMPANY
CORR	CORRIDOR	HM	HOLLOW METAL	PLAM	PLASTIC LAMINATE	VCT	VINYL COMPOSITION TILE
CPT	CARPET	HNCG	HOLLOW NEOPRENE COMPRESSION GASKET	PLAS	PLASTIC	VERT	VERTICAL
CS	CONCEALED SPLINE	HOLD	HOLD DIMENSION	PLBG	PLUMBING	VEST	VESTIBULE
CT	CERAMIC TILE	HORZ	HORIZONTAL	PLT	PLATE	VIF	VERIFY IN FIELD
D	DEPTH	HP	HOLD POINT	PLYWD	PLYWOOD	W	WIDE / WIDTH
DEMO	DEMOLITION	HT	HEIGHT	POL	POUSHED	WD	WITHOUT
DIA	DIAMETER	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	PPMC	POLYISOBUTYLENE / POLYBUTENE MASTIC	WID	WATER CLOSET
DIM	DIMENSION	ID	INSIDE DIAMETER	PSF	POUNDS PER SQUARE FOOT	WC	WOOD
DISP	DISPENSER	IN	INCH	PT	PRESSURE TREATED	WDG	WDG ARCHITECTURE
DN	DOWN	INSUL	INSULATION	FTD	PAINTED	WR	WATER RESISTANT
DP	DAMP PROOFING	INT	INTERIOR	PVC	POLY VINYL CHLORIDE	WRGB	WATER RESISTANT GYPSUM BOARD
DR	DOOR	J-BOX	JUNCTION BOX	QTY	QUANTITY	WT	WEIGHT
DTL	DETAIL						

## Project Team

**Structural**  
Tadler Cohen Edelson  
Associates, Inc.  
1109 Spring St  
Suite 510  
Silver Spring, MD 20910  
tel (301) 587-1820  
fax -  
e-mail @tadjerco.com

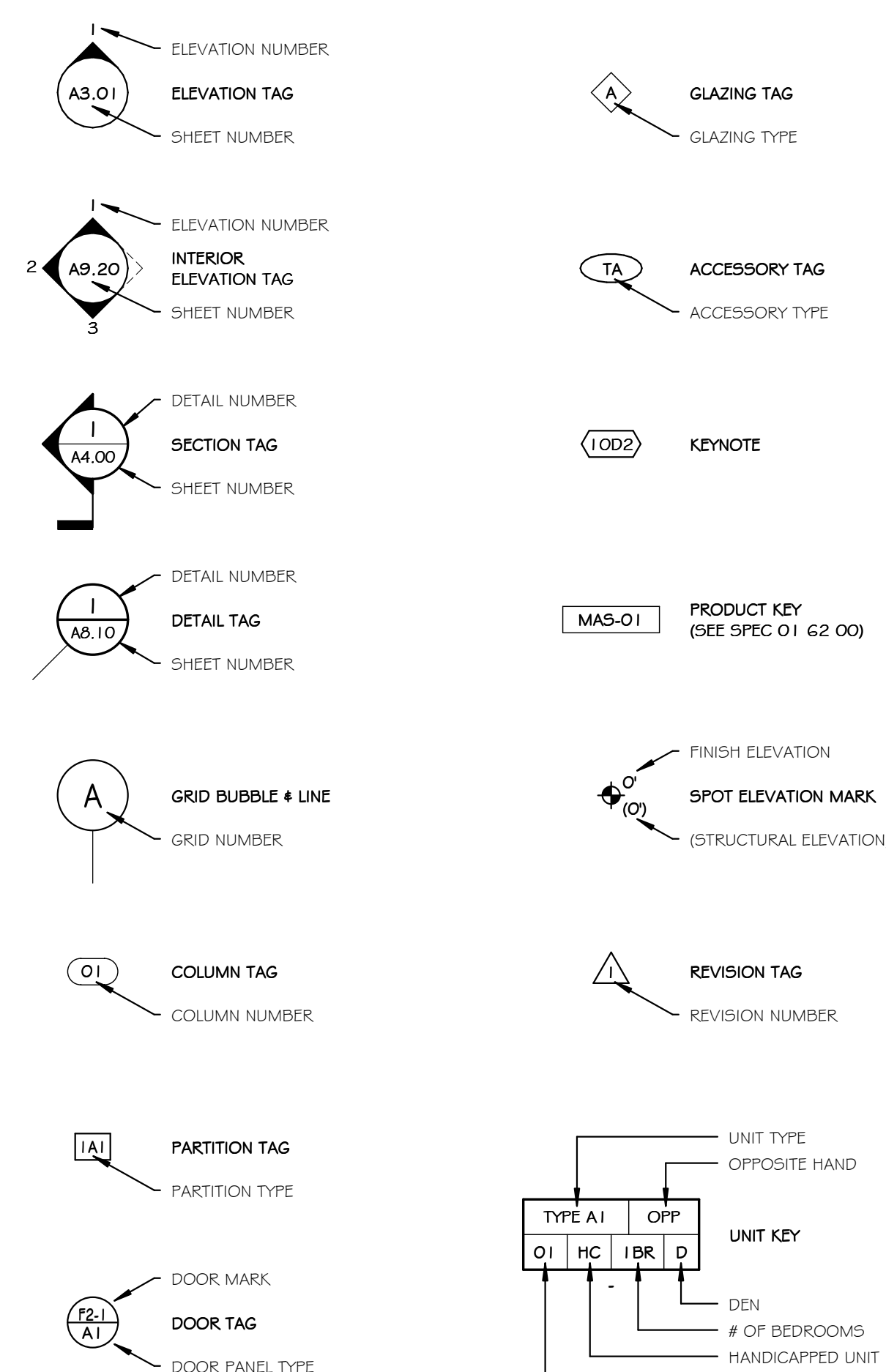
**MEP**  
WFT Engineering Inc.

9737 Washington Blvd  
Suite 588  
Gaithersburg, MD 20878  
tel (301) 230-0811  
fax (301) 330-8911  
e-mail @wfteng.com

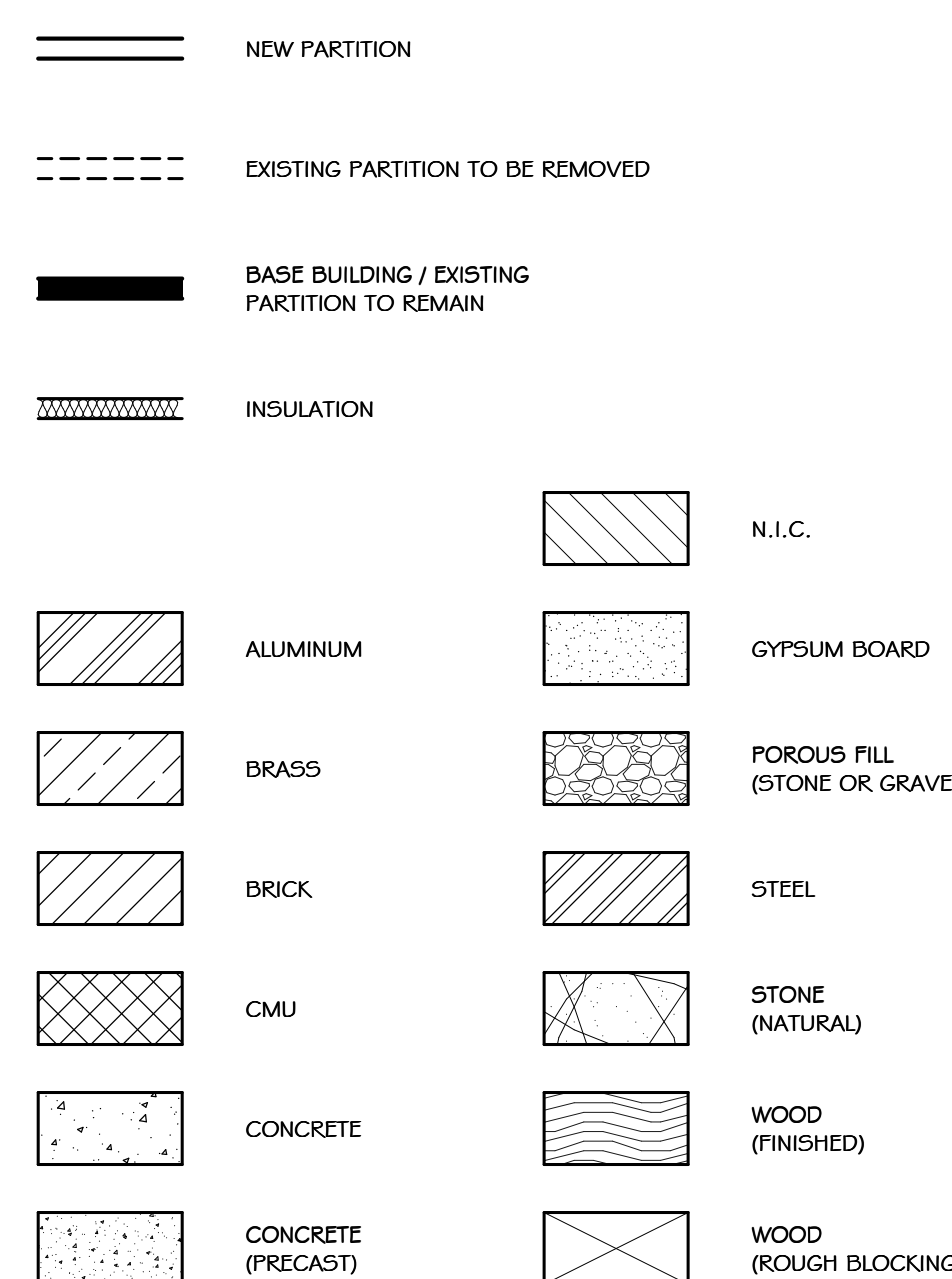
**Landscape**  
Parker Rodriguez Inc.

101 N. Union St.  
Suite 320  
Alexandria, VA 22314  
tel (703) 548-5010  
fax -  
e-mail @parkerrodriguez.com

## Symbols



## Materials



## Project Scope

- REMOVE AND REPLACE EXISTING FLOORING IN MAIN ENTRY LOBBY
- EXPAND EXISTING ENTRY LOBBY TO INCLUDE NEW SECURITY DESK LOCATION
- REMOVE AND REPLACE EXISTING CARPET AT 2ND FLOOR ELEVATOR LOBBY
- REMOVE AND REPLACE EXISTING CEILING AT 1ST & 2ND FLOOR ELEVATOR LOBBIES
- REPLACE EXISTING HANDRAIL SYSTEM AT 2ND FLOOR ELEVATOR LOBBY
- CLAD EXISTING EXTERIOR CONCRETE COLUMNS WITH WET SEALED THERMOPLASTIC CORE METAL PANEL
- NEW SECURITY DESK
- ASSOCIATED MECHANICAL, PLUMBING, ELECTRICAL WORK AT CEILING & SECURITY DESK

## CODE SUMMARY

Description	IBC Required	Provided
Chapter 3 - Use and Occupancy Classification Primary Use Group: Business B Accessory Use Groups: S-2		
Chapter 5 - General Building Heights and Areas Building Area (GSF): Per Storey Section 506 - Allowable Area Per Storey due to Automatic Sprinkler System Installation: Building Height: Ave. Grade Plane Type of Construction (Table 503 modified with 403.3.3) Number of Stories:	9,500 SQFT 37,500 SQFT 60' II A 5	UNCHANGED UNCHANGED 58' IIA 5
Chapter 6 - Types of Construction Type II A Construction per Table 601 w/ Automatic Sprinkler System Structural Frame (including columns, girders, trusses) Bearing Walls - Exterior Bearing Walls - Interior Nonbearing Walls and Partitions Floor Construction (including supporting beams and joists) Roof Construction (including supporting beams and joists)		0 Hours 0 Hours 0 Hours 0 Hours 0 Hours 0 Hours
Chapter 7 - Fire-Resistance-Rated Construction Table 704.B - Maximum Area of Exterior Wall Openings (Greater than 30')	No Limit	UNCHANGED
Chapter 8 - Interior Finishes Group B Vertical Exits and Exit Passageways (with Sprinkler) Exit Access Corridors and Other Exit Ways (with Sprinkler) Rooms and Enclosed Spaces (with Sprinkler)	Class B Class C Class C	UNCHANGED UNCHANGED UNCHANGED
Chapter 8 - Interior Finishes Group 5-2 Vertical Exits and Exit Passageways (with Sprinkler) Exit Access Corridors and Other Exit Ways (with Sprinkler) Rooms and Enclosed Spaces (with Sprinkler)	Class C Class C Class C	UNCHANGED UNCHANGED UNCHANGED
Chapter 9 - Fire Protection Systems The building (all uses) will be sprinklered in accordance with IBC chapter 9		
Chapter 10 - Means of Egress Group B Common Path of Egress Maximum Floor Area Allowances Per Occupant Egress width per Occupant Served at Stairways Egress width per Occupant Served at Other Egress Components Exit Access Travel Distance Corridor Fire-Resistance Rating (with Sprinkler System)	100' 100 gross .2 in .15 in 300 ft 0 Hours	UNCHANGED 100 gross .3 in .2 in UNCHANGED 0 Hours
Chapter 10 - Means of Egress Group 5-2 Common Path of Egress Maximum Floor Area Allowances Per Occupant Egress width per Occupant Served at Stairways Egress width per Occupant Served at Other Egress Components Exit Access Travel Distance Corridor Fire-Resistance Rating (with Sprinkler System)	40' 200 gross .2 in .15 in 250 ft 0 Hours	UNCHANGED 200 gross .3 in .2 in UNCHANGED 0 Hours

## APPLICABLE CODES

- International Codes:  
IBC 2012  
International Plumbing Code 2012  
International Mechanical Code 2012  
International Fuel Gas Code 2012  
International Energy Conservation Code 2012  
2008 National Electrical Code
- State and Local Codes  
COMAR 05.02.02  
Maryland Building Rehabilitation Code
- Other:  
ADA - Americans with Disabilities Acts  
International Code Council / American National Standards Institute  
A117.1-2003

# WDG

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Suite 300  
Washington DC 20036  
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e-mail wdg@wdgarch.com

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e-mail wfteng.com

7811 MONTROSE RD  
POTOMAC, MD

**WILLCO**  
Companies  
7811 Montrose Road  
Suite 500  
Potomac, MD 20854

PERMIT SUBMISSION 10/15/13

Professional Seal  
I certify that these documents were prepared or approved by me and that I am a duly licensed architect under the laws of the State of Maryland. License Number: 915-A, Expiration Date: 11-30-2015.

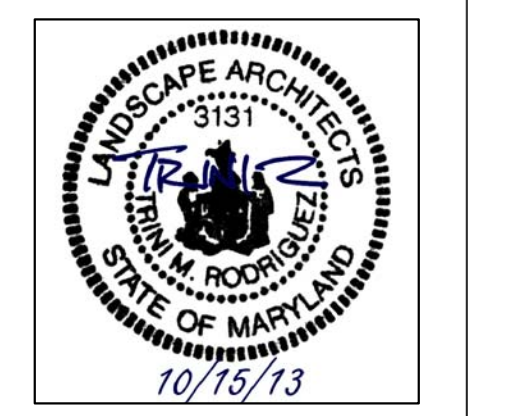
WDG Project No:  
WA11042

**COVER SHEET**  
A1.7.1-2003

Scale: As indicated

**G0.01**





REVISIONS

SITE PERMIT	09.16.13
DESIGN DEVELOPMENT SET	10.15.13
BID SET	11.14.13

**HARDSCAPE  
PLAN**

ORIGINAL ISSUE DATE  
09.16.13

DESIGNED BY  
TR, NC

DRAWN BY  
NC

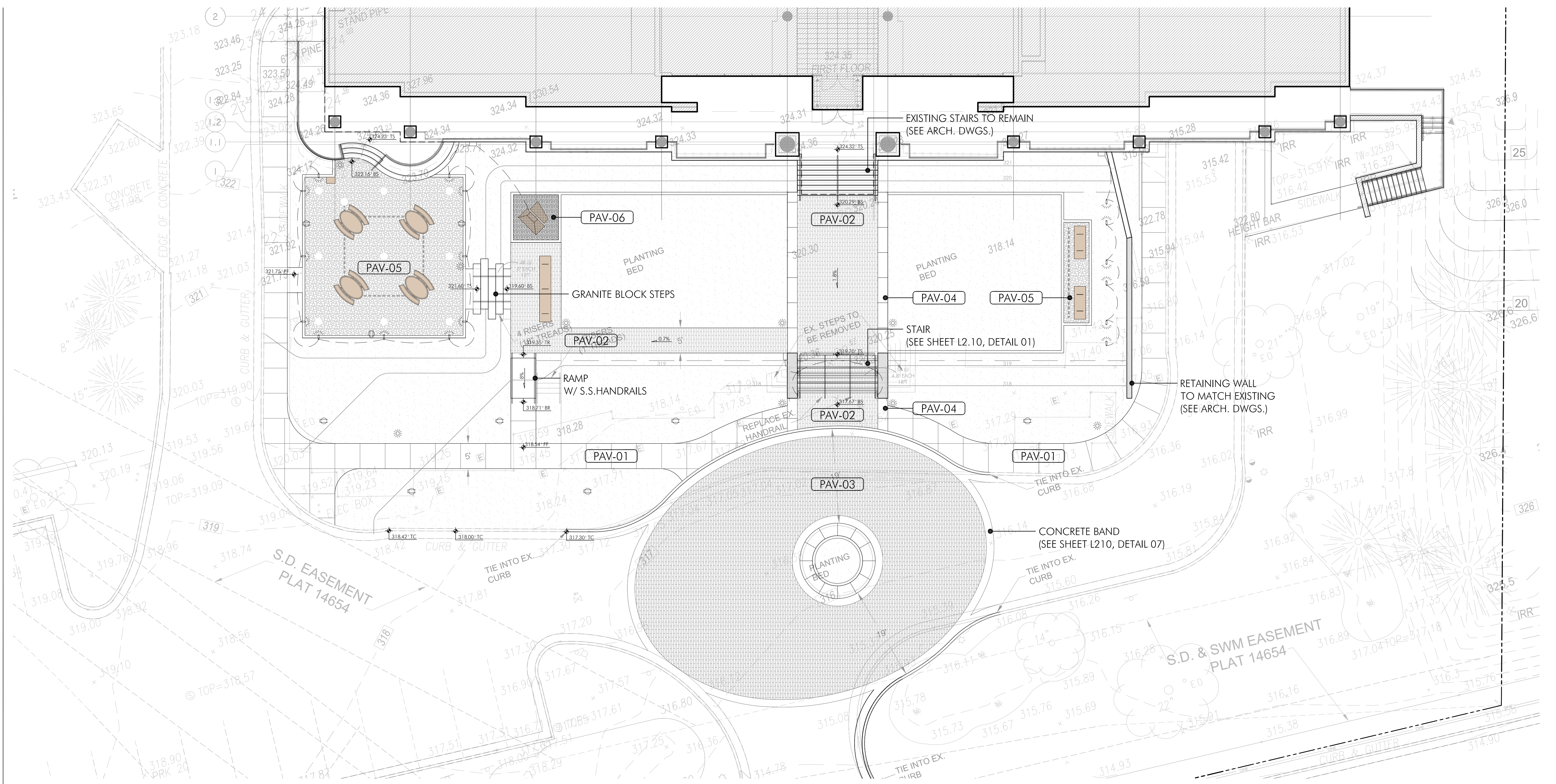
CHECKED BY  
TR

NORTH

SCALE  
1"=10'-0"

0' 5' 10' 20'  
FEET

**L1.00**



**LEGEND**

<b>HARDSCAPE</b>	<b>FEATURES AND FURNITURE</b>	<b>LIGHTING</b>
<ul style="list-style-type: none"> <li>SITE WALL (W/ STONE VENEER) - SEE SHEET L2.12, DETAIL 03</li> <li>STEPS (W/ S.S. HANDRAILS) - SEE SHEET L2.12, DETAILS 01/02</li> <li>TRENCH DRAIN - SEE SHEET L2.11, DETAIL 02</li> <li>PRECAST CONCRETE CURB - SEE SHEET L2.11, DETAIL 01</li> <li>AREAS TO BE PLANTED - SEE PLANTING PLAN</li> </ul>	<ul style="list-style-type: none"> <li>SPECIAL FEATURE (W/ INTEGRAL LIGHTING) - SEE SHEET L2.50, DETAIL 04</li> <li>BENCH - SEE SHEET L2.50, DETAIL 01</li> <li>PICNIC TABLE - SEE SHEET L2.50, DETAIL 02</li> <li>TRASH RECEPTACLE - SEE SHEET L2.50, DETAIL 03</li> </ul>	<ul style="list-style-type: none"> <li>PEDESTRIAN POLE LIGHT - SEE SHEET L4.10, DETAIL 01</li> <li>WALL MOUNTED LIGHT - SEE SHEET L4.10, DETAIL 02</li> <li>TREE UPLIGHT - SEE SHEET L4.10, DETAIL 03</li> <li>TRANSFORMER AND PROPOSED WIRING - SEE ELECTRICAL DWGS.</li> <li>DUPLEX OUTLET - WEATHERPROOF - SEE ELECTRICAL DWGS.</li> </ul>

**PAVING SCHEDULE**

KEY	SYMBOL	MATERIAL	TYPE	FINISH	SIZE	COLOR	MANUFACTURER
PAV-01	[Symbol]	CAST-IN-PLACE CONCRETE	N/A	LIGHT BROOM	36" x 36" SCORING	TO MATCH EXISTING	N/A
PAV-02	[Symbol]	CONCRETE PAVERS (PEDESTRIAN)	PLANKSTONE®	TUDOR	2 7/8" x 23 1/2" x 4"	T.B.D.	HANOVER ARCHITECTURAL PRODUCTS www.hanoverpavers.com
PAV-03	[Symbol]	CONCRETE PAVERS (VEHICULAR)	PLANKSTONE®	NATURAL	2 7/8" x 8 13/16" x 4"	T.B.D.	HANOVER ARCHITECTURAL PRODUCTS www.hanoverpavers.com
PAV-04	[Symbol]	STONE BANDS	MESABI BLACK GRANITE	DIAMOND 100	24" x 60" x 2"	NATURAL STONE COLOR	COLD SPRING GRANITE www.coldspringusa.com
PAV-05	[Symbol]	POROUS FLEXIBLE PAVING	NATURAL STONE SURFACE (FS2000)	N/A	N/A	N/A	CAPITOL FLEXI-PAVE www.capitolflexipave.com
PAV-06	[Symbol]	DECORATIVE GLASS MULCH	T.B.D.	N/A	LARGE	T.B.D.	AMERICAN SPECIALTY GLASS www.americanspecialtyglass.com

**DEVELOPER'S CERTIFICATE**

The Undersigned agrees to execute all the features of the Site Plan Approval No. 81983121A, including Approval Conditions, Development Program, and Certified Site Plan.

Developer's Name: 7811 Montrose LP/WILLCO Co. Robert Mazzuca  
Company Contact Person  
Address: WILLCO Companies - 7811 Montrose Road - Potomac, MD 20854  
Phone: (240) 399-1421

Signature: \_\_\_\_\_

**M-NCPPC APPROVAL STAMP**

Certified Site Plan  
File No. 81983121A  
Montgomery County Planning Board

Chair or Designee \_\_\_\_\_ Date \_\_\_\_\_

MONTGOMERY COUNTY PLANNING DEPARTMENT  
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

BID SET - 10.15.13 - NOT FOR CONSTRUCTION





REVISIONS

SITE PERMIT	09.16.13
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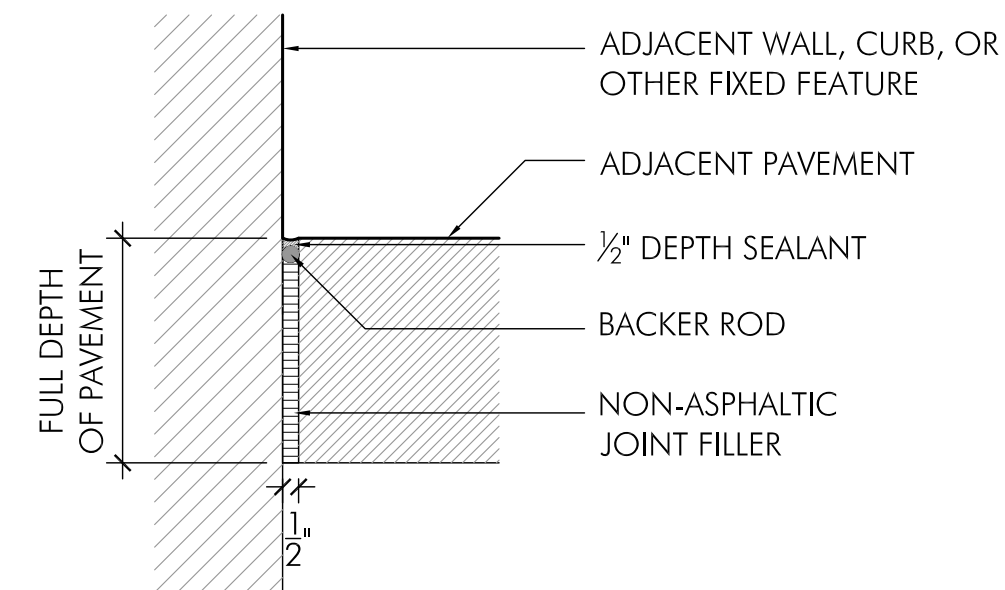
**HARDSCAPE  
DETAILS**

ORIGINAL ISSUE DATE  
09.16.13  
DESIGNED BY  
TR, NC  
DRAWN BY  
NC  
CHECKED BY  
TR  
NORTH

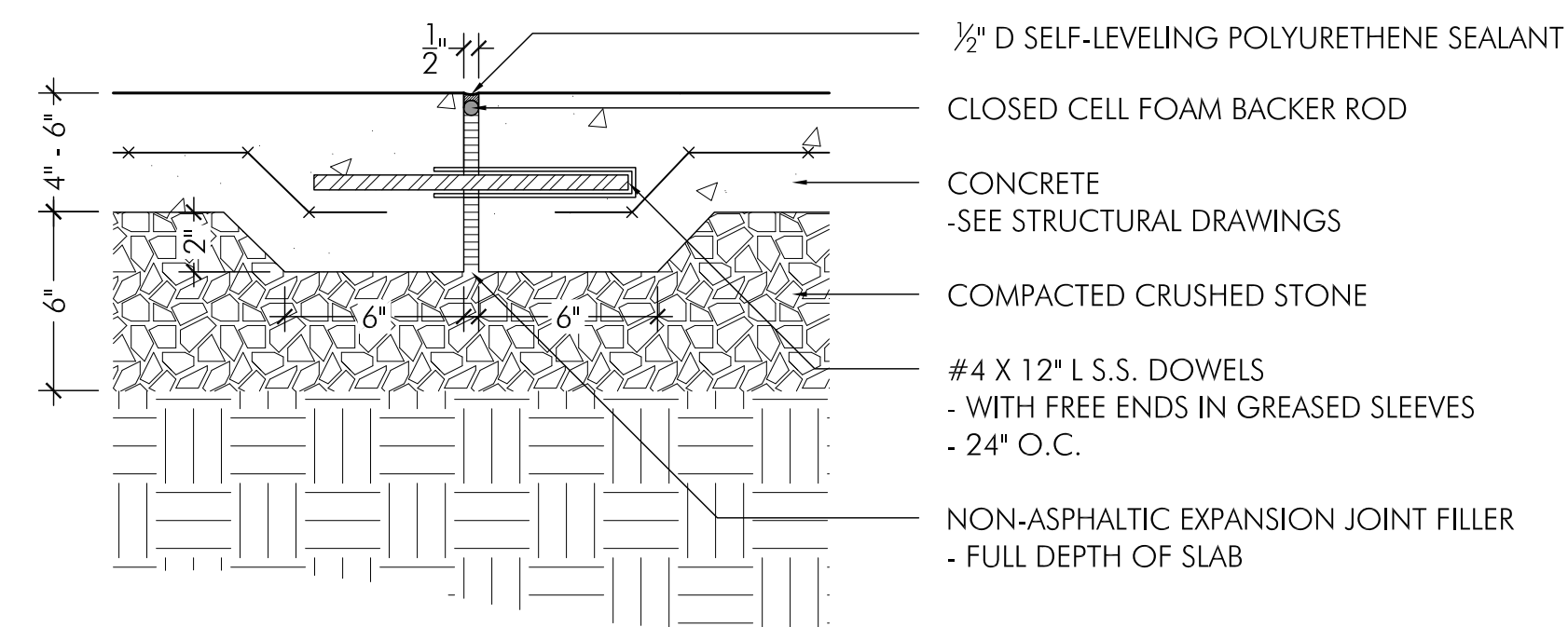


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FEET

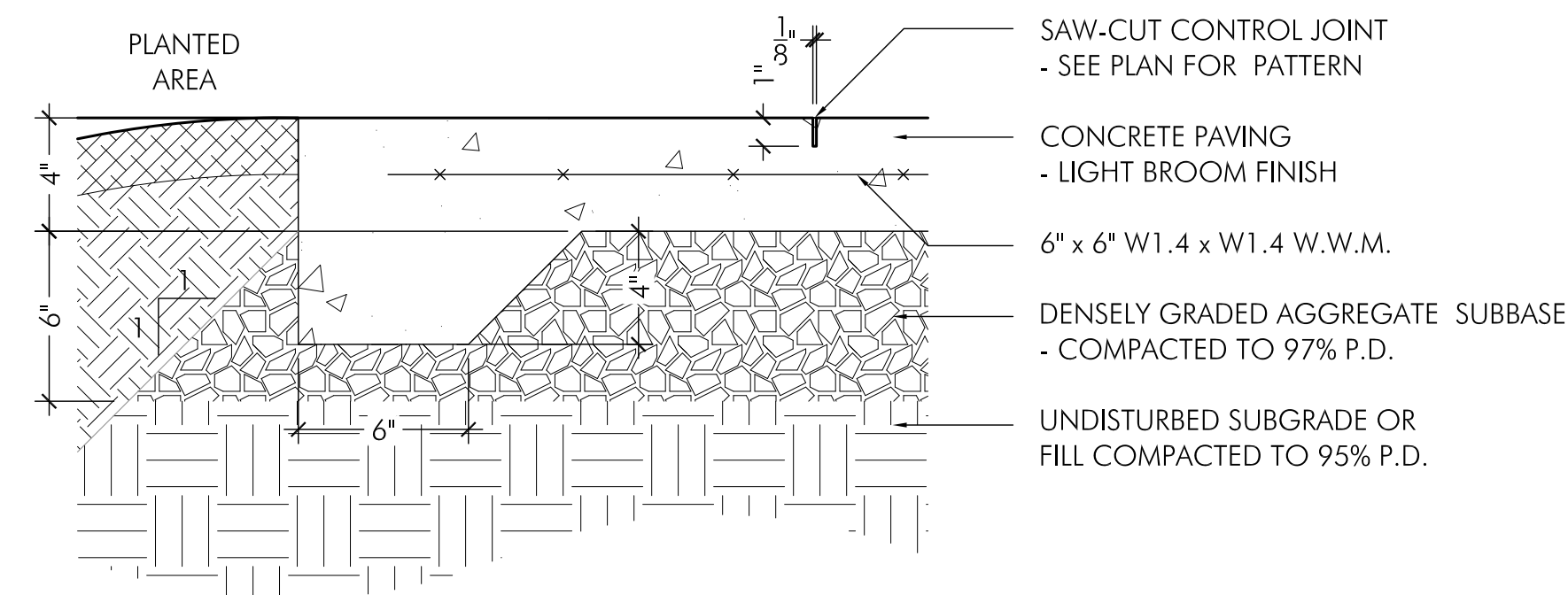
**L2.10**



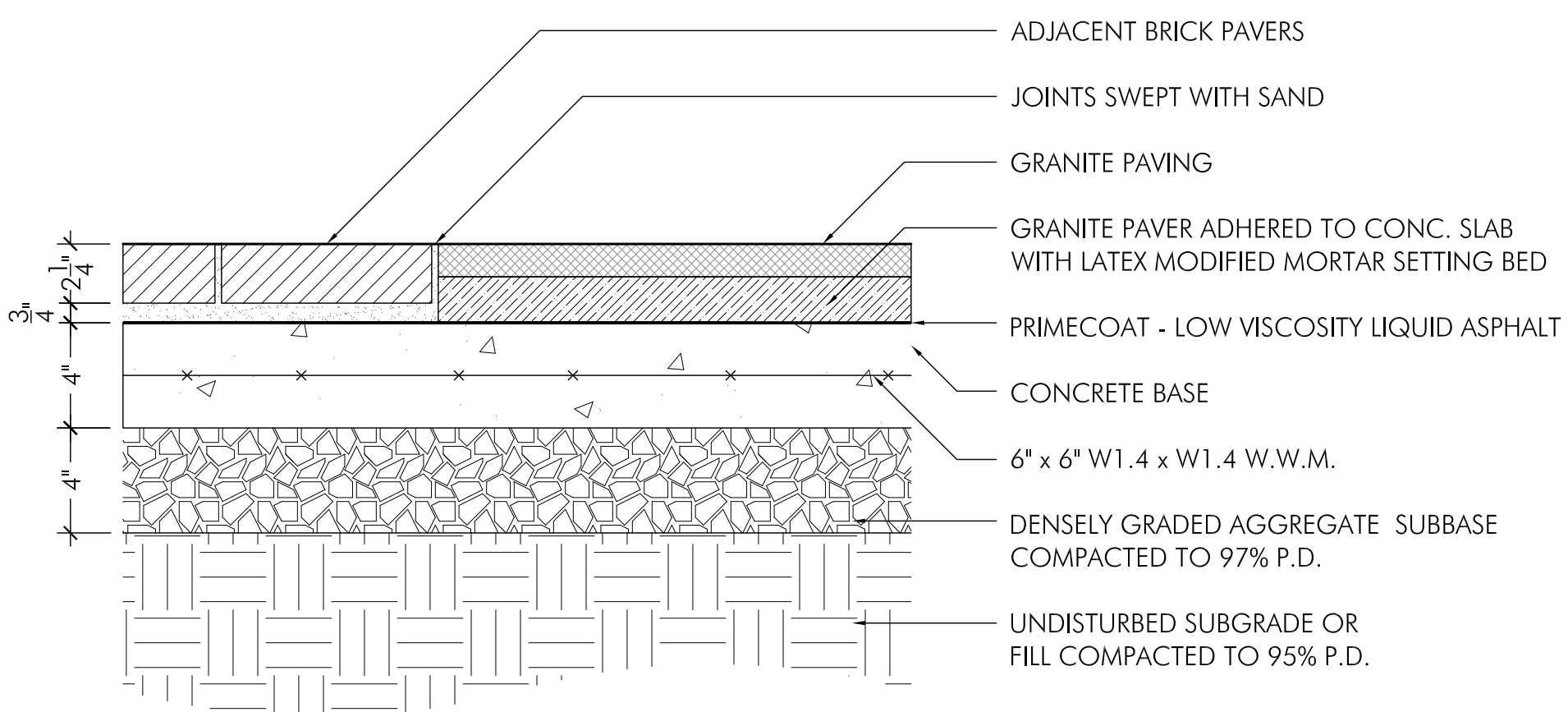
**01 ISOLATION JOINT**  
SCALE: N.T.S.



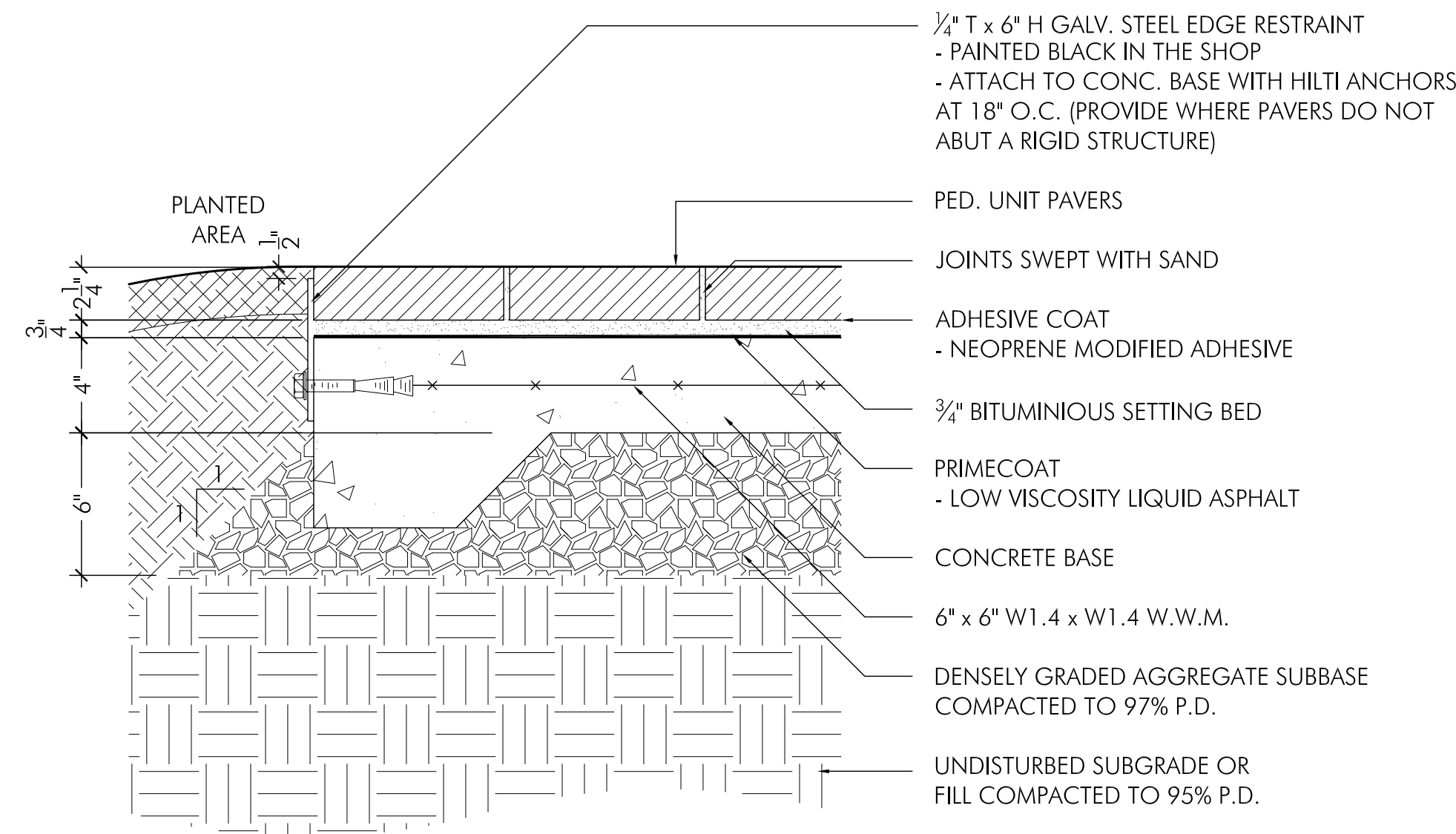
**02 EXPANSION JOINT**  
SCALE: N.T.S.



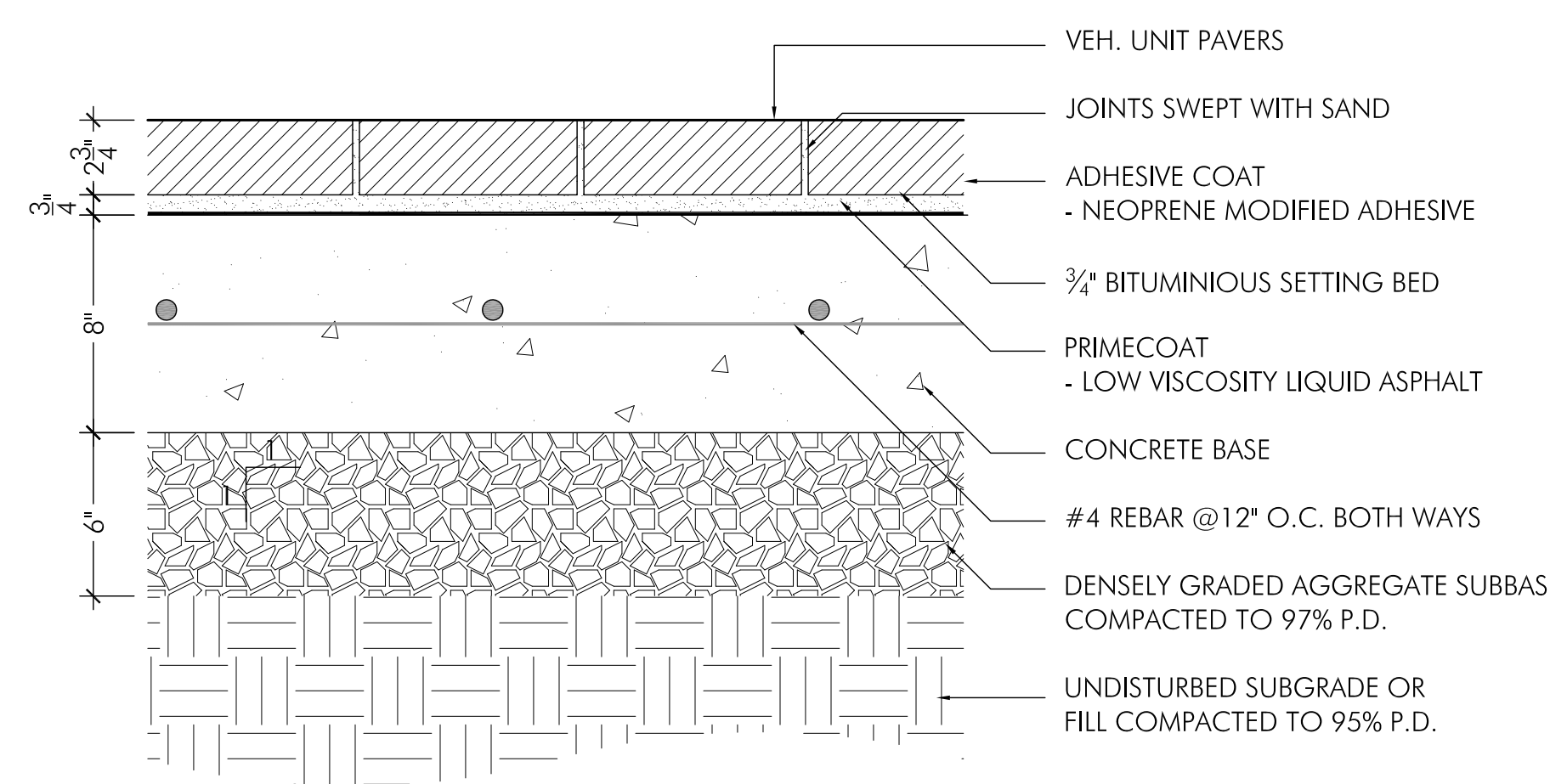
**03 CONCRETE PAVING - CONTROL JOINT (PEDESTRIAN)**  
SCALE: N.T.S.



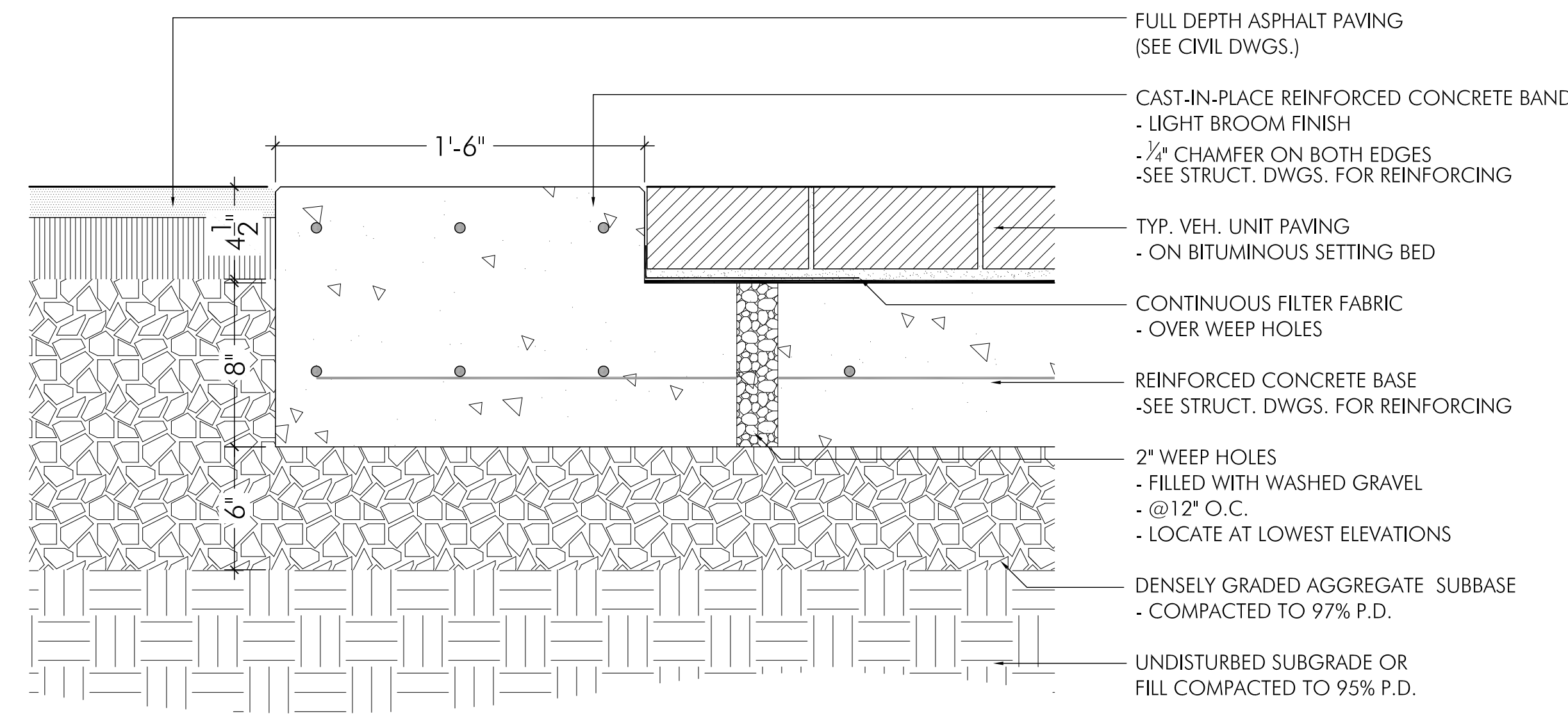
**04 UNIT PAVER / STONE BAND PAVING**  
SCALE: N.T.S.



**05 UNIT PAVER (PESTRIAN)**  
SCALE: N.T.S.



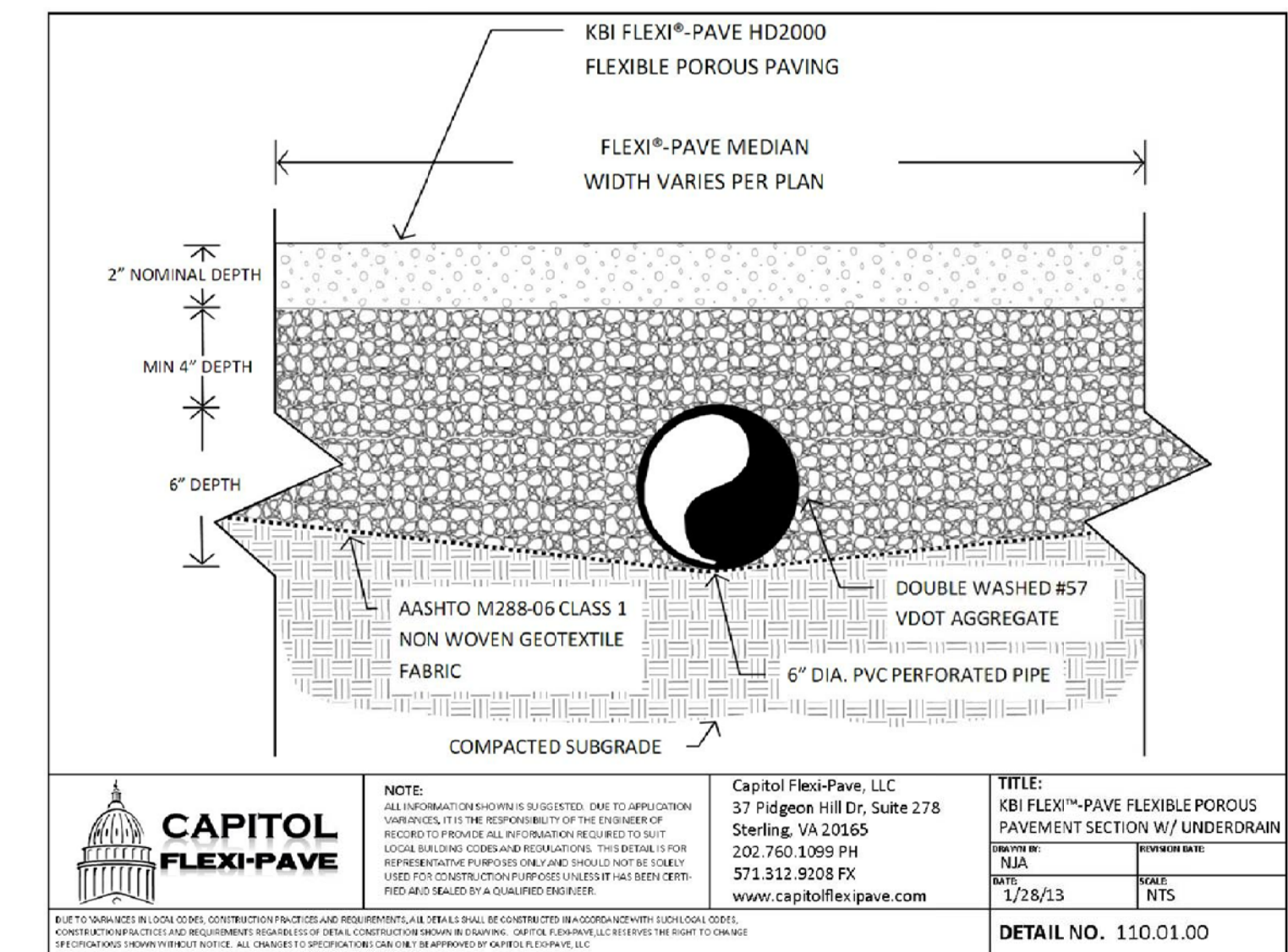
**06 UNIT PAVER (VEHICULAR)**  
SCALE: N.T.S.



**07 CONCRETE BAND (VEHICULAR)**  
SCALE: N.T.S.



Manufacturer: CAPITOL FLEXI-PAVE  
capitolflexipave.com  
Product: Natural Stone Surface (FS2000)



**08 POROUS FLEXIBLE PAVING (PEDESTRIAN)**  
SCALE: N.T.S.

<p><b>NOTE:</b> ALL INFORMATION HEREIN IS UNCLASSIFIED. DATE OF DECLASSIFICATION INDEFINITE. THE INFORMATION IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE. THIS INFORMATION IS UNCLASSIFIED FOR ALL PURPOSES AND SHOULD NOT BE RECLASSIFIED FOR SECURITY OR OTHER REASONS UNLESS IT IS DETERMINED THAT IT IS NECESSARY TO DO SO.</p>	<p>Capitol Flexi-Pave, LLC 37 Pidgeon Hill Dr, Suite 278 Sterling, VA 20165 302.765.1069 PH 571.312.9208 FX www.capitolflexipave.com</p>	<p><b>TITLE:</b> KBI FLEXI-PAVE FLEXIBLE POROUS PAVEMENT SECTION W/ UNDERDRAIN</p> <p>DATE: 1/28/13 SCALE: NTS DETAIL NO. 110.01.00</p>
	<p>Capitol Flexi-Pave, LLC 37 Pidgeon Hill Dr, Suite 278 Sterling, VA 20165 302.765.1069 PH 571.312.9208 FX www.capitolflexipave.com</p>	
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	<p>Capitol Flexi-Pave, LLC 37 Pidgeon Hill Dr, Suite 278 Sterling, VA 20165 302.765.1069 PH 571.312.9208 FX www.capitolflexipave.com</p>	

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Signature: \_\_\_\_\_

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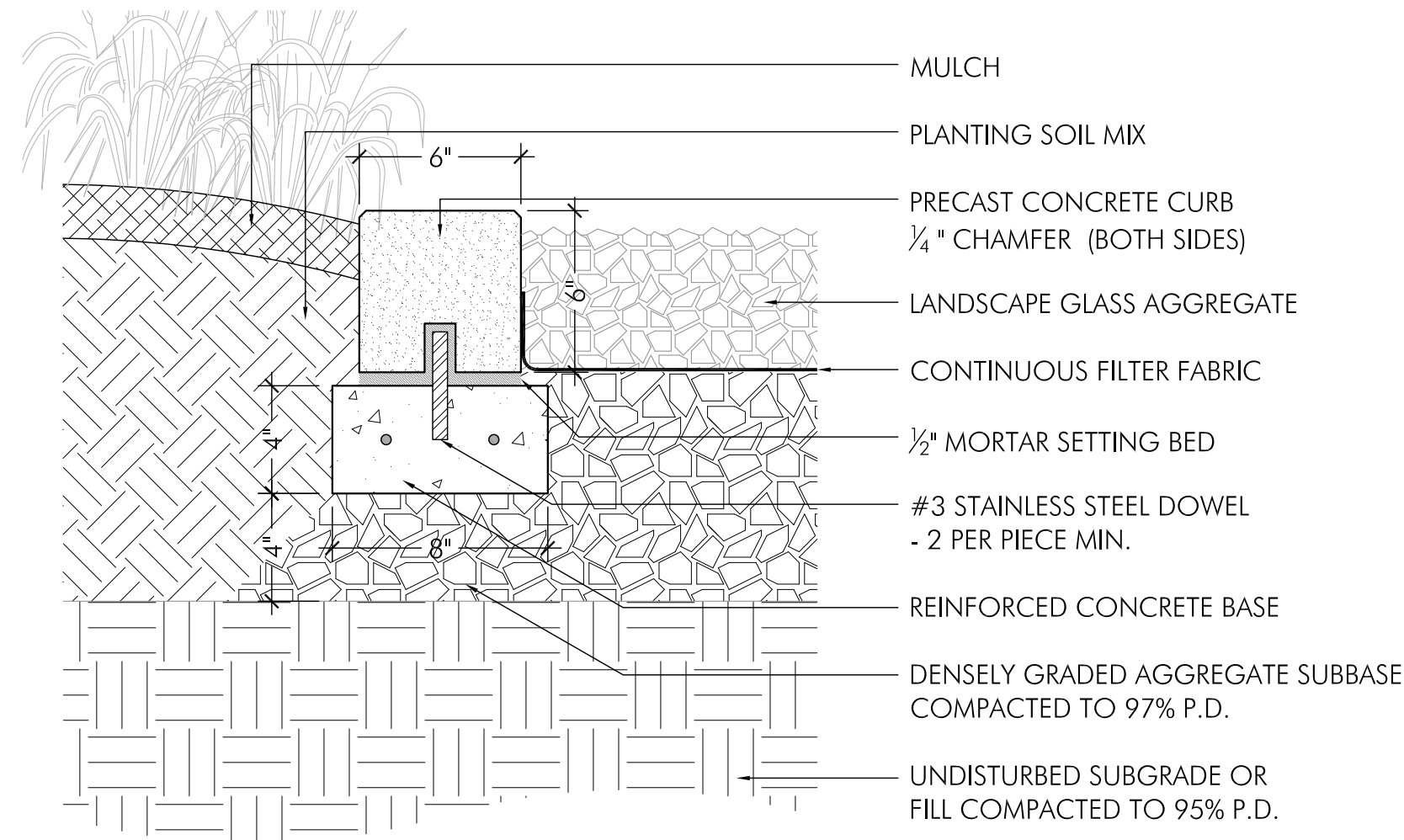
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Chair or Designee \_\_\_\_\_ Date \_\_\_\_\_

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BID SET - 10.15.13 - NOT FOR CONSTRUCTION

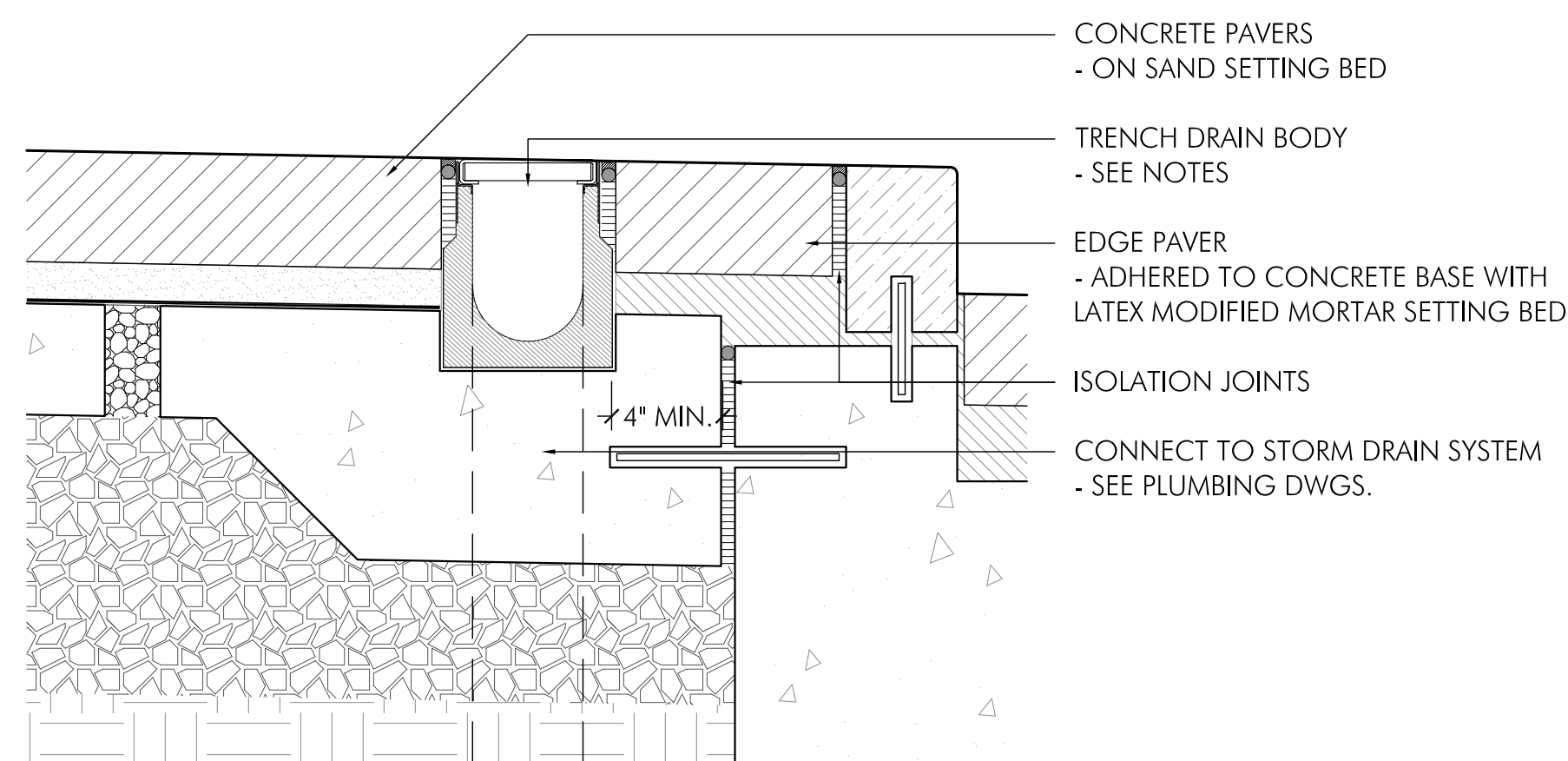




**PRECAST CURB NOTES:**

1. LENGTH OF PRECAST PIECES TO BE 3 FT., MAX.
2. COLOR T.B.D.
3. PROVIDE 2 DOWELS PER CURB UNIT, MIN.
4. ALL JOINTS TO BE FULLY CAULKED  
- COLOR TO MATCH PRECAST.
5. CORNER UNITS TO BE BUTTED WITH FINISHED ENDS  
- DO NOT MITRE.
6. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF ALL PRECAST PIECES INDICATING LAYOUT, CORNER DETAILS, ETC. FOR REVIEW AND APPROVAL BY PROJECT LANDSCAPE ARCHITECT PRIOR TO FABRICATION.
7. CONTRACTOR TO PROVIDE REPRESENTATIVE PRECAST AND JOINT SEALANT COLOR/FINISH SAMPLES FOR REVIEW AND APPROVAL BY PROJECT LANDSCAPE ARCHITECT PRIOR TO FABRICATION.

**01 PRECAST LANDSCAPE CURB**  
SCALE : 1" = 1'-0"



**TRENCH DRAIN NOTES:**

1. PROVIDE K100 PRE-SLOPED TRENCH DRAIN SYSTEM BY ACO USA 800.543.4764.
2. CONTRACTOR TO PROVIDE SHOP DRAWINGS, BY ACO, OF TRENCH DRAINS FOR REVIEW BY PROJECT LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
3. PROVIDE CAST IRON "OBLIO HEELPROOF" GRATE BY IRONAGE DESIGNS 877.418.3568 - SEE SHEET L3.20.

**02 TRENCH DRAIN**  
SCALE : 1" = 1'-0"



REVISIONS

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DESIGN DEVELOPMENT SET	10.15.13
BID SET	11.14.13

**HARDSCAPE  
DETAILS**

ORIGINAL ISSUE DATE  
09.16.13

DESIGNED BY  
TR, NC

DRAWN BY  
NC

CHECKED BY  
TR

NORTH

SCALE  
1"=10'-0"

0 5 10 20  
FEET

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MONTGOMERY COUNTY PLANNING DEPARTMENT  
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

BID SET - 10.15.13 - NOT FOR CONSTRUCTION

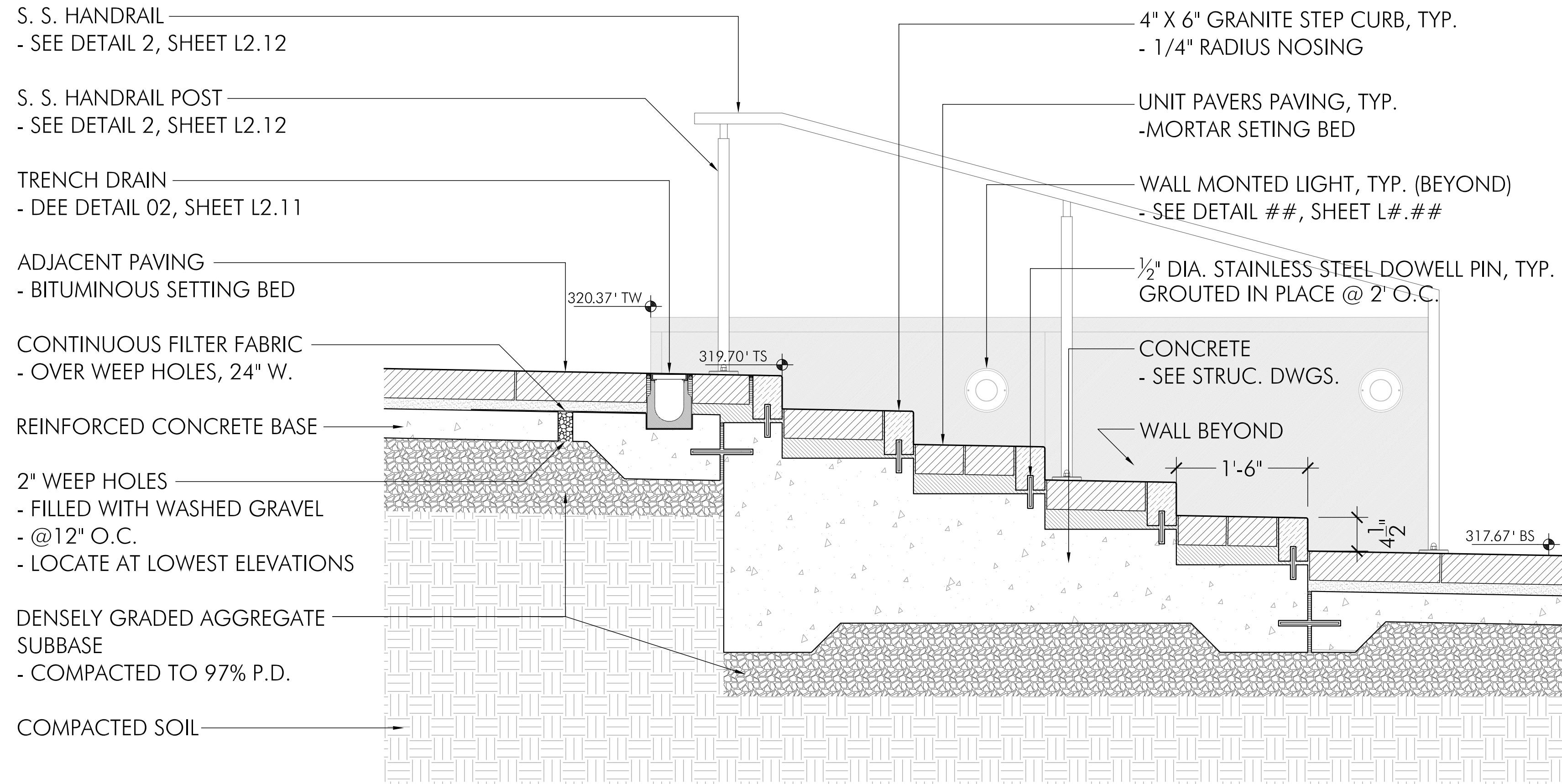




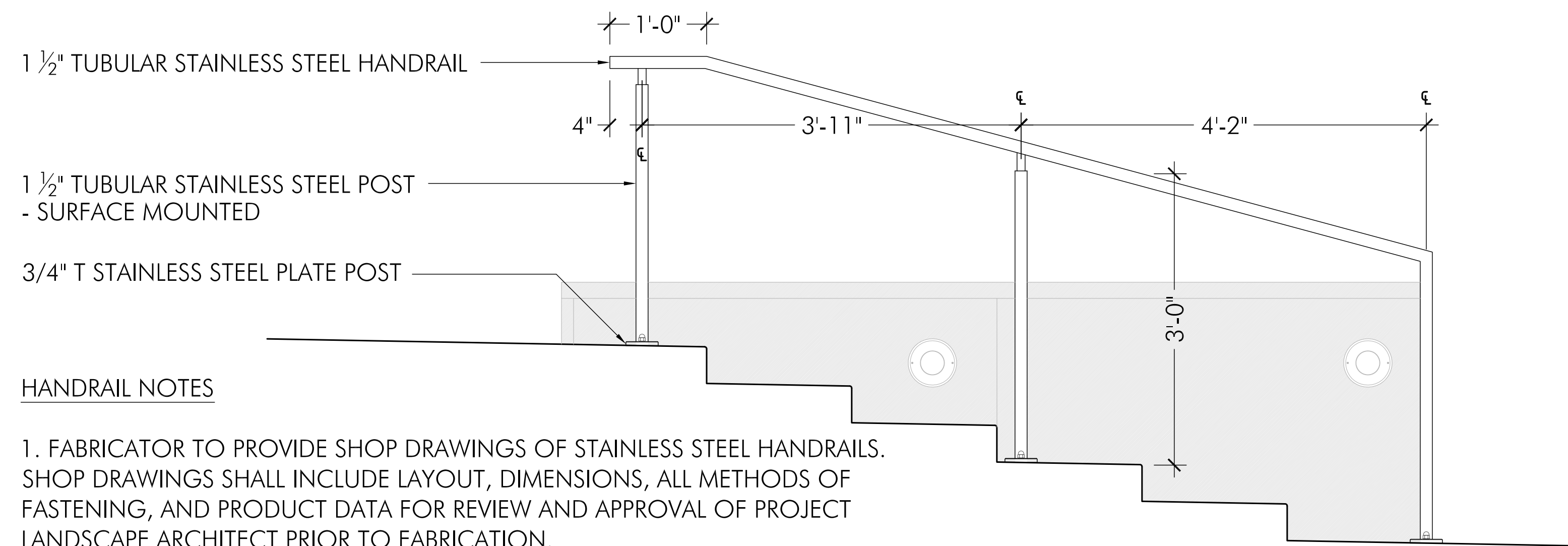
REVISIONS	
SITE PERMIT	09.16.13
DESIGN DEVELOPMENT SET	10.15.13
BID SET	11.14.13

**HARDSCAPE  
DETAILS**

ORIGINAL ISSUE DATE	09.16.13
DESIGNED BY	TR, NC
DRAWN BY	NC
CHECKED BY	TR
NORTH	
SCALE 1"=10'-0"	
0' 5' 10' 20' FEET	

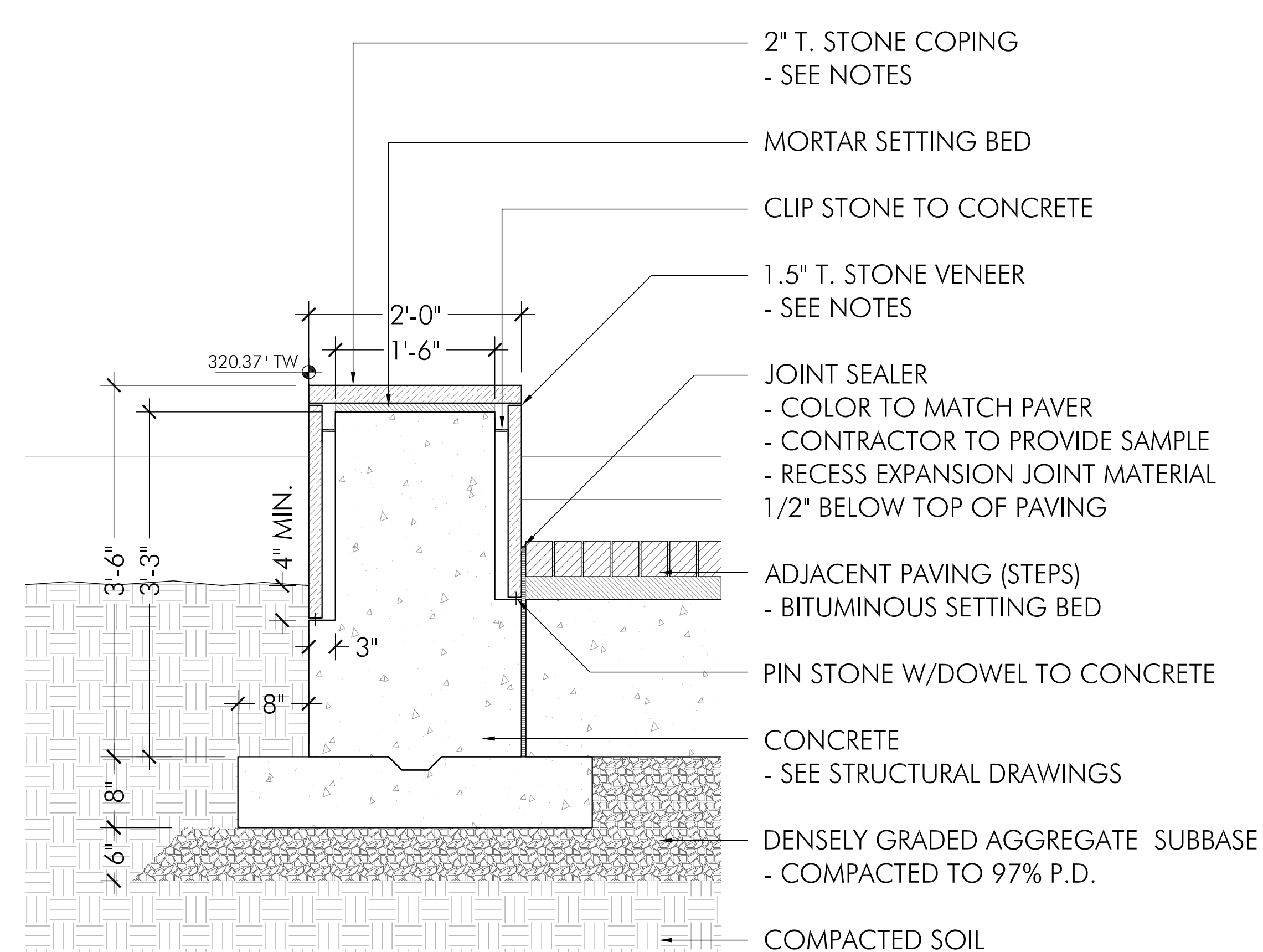


**01 STAIR**  
SCALE : 1" = 1'-0"



**02 STAIR HANDRAIL**  
SCALE : 1" = 1'-0"

- HANDRAIL NOTES**
- FABRICATOR TO PROVIDE SHOP DRAWINGS OF STAINLESS STEEL HANDRAILS. SHOP DRAWINGS SHALL INCLUDE LAYOUT, DIMENSIONS, ALL METHODS OF FASTENING, AND PRODUCT DATA FOR REVIEW AND APPROVAL OF PROJECT LANDSCAPE ARCHITECT PRIOR TO FABRICATION.
  - ALL HANDRAIL ELEMENTS TO MEET BUILDING CODES.
  - HANDRAIL, POSTS, AND SUPPORTS TO BE TYPE 304 STAINLESS STEEL, #5 SATIN FINISH. SCH. 40 TUBULAR HANDRAIL.
  - ALL WELDS TO BE GROUND SMOOTH PRIOR TO FINISHING. FABRICATOR TO TAKE STEPS TO PREVENT CORROSION AT WELDS (PASSIVATION).



**WALL NOTES:**

- SEE STRUCTURAL ENGINEER'S DRAWINGS FOR CONCRETE REINFORCING INFORMATION.
- STONE - PRODUCT INFORMATION:  
- TYPE: MESABI BLACK  
- FINISH: DIAMOND 100  
- MANUFACTURER: COLDSRING GRANITE (WWW.COLDSRINGUSA.COM)
- PROVIDE A MIN. OF 4" OF STONE VENEER BELOW SOIL GRADE AND ON ALL ADJACENT PAVING.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS OF WALL PIECES INDICATING LAYOUT, CORNER DETAILS, ETC. FOR REVIEW AND APPROVAL BY PROJECT LANDSCAPE ARCHITECT PRIOR TO FABRICATION.
- CONTRACTOR TO PROVIDE STONE AND JOINT SEALANT COLOR/FINISH SAMPLES FOR REVIEW AND APPROVAL BY PROJECT LANDSCAPE ARCHITECT PRIOR TO FABRICATION.

**03 GRANITE WALL**  
SCALE : 1" = 1'-0"

**DEVELOPER'S CERTIFICATE**

The Undersigned agrees to execute all the features of the Site Plan Approval No. 81983121A, including Approval Conditions, Development Program, and Certified Site Plan.

Developer's Name: 7811 Montrose LP/WILLCO Co. Robert Mazzuca  
Company Contact Person  
Address: WILLCO Companies - 7811 Montrose Road - Potomac, MD 20854  
Phone: (240) 399-1421

Signature: \_\_\_\_\_

**M-NCPPC APPROVAL STAMP**

Certified Site Plan  
File No. 81983121A  
Montgomery County Planning Board

Chair or Designee \_\_\_\_\_ Date \_\_\_\_\_

MONTGOMERY COUNTY PLANNING DEPARTMENT  
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

BID SET - 10.15.13 - NOT FOR CONSTRUCTION





Manufacturer: Landscape Forms  
www.landscapeforms.com  
Model: Escofet - Levit  
Quantity: (1) Unit 158" long  
(2) Units 79" long

**01** BENCH  
SCALE: N.T.S.



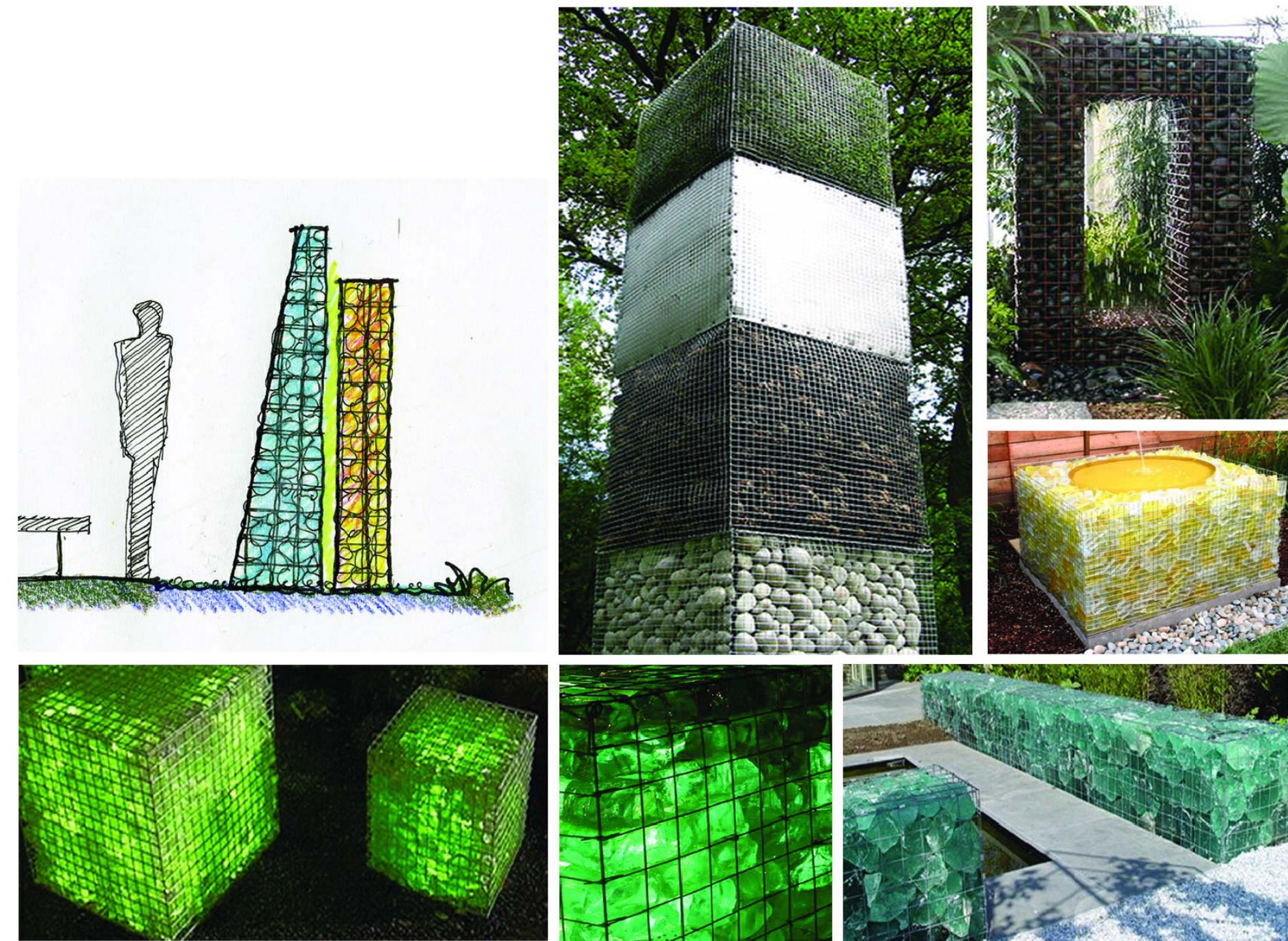
Manufacturer: Landscape Forms  
www.landscapeforms.com  
Model: Charlie  
Quantity: (4) Units  
Options: Without Upmbrella Hole  
Surface Mounted  
Color: Silver

**02** PICNIC TABLE  
SCALE: N.T.S.



Manufacturer: Forms+Surfaces  
www.forms-surfaces.com  
Model: Apex  
Quantity: (1) Unit  
Options: Single Stream  
Stainless Steel Inset  
With Rain Cover  
Mounting: Surface Mounted  
(Provide 21"x15" Concrete Pad)  
Color: Silver

**03** TRASH RECEPTACLE  
SCALE: N.T.S.



SPECIAL FEATURE NOTES:  
1. SPECIAL FEATURE TO BE DECORATIVE GLASS GABION DISPLAY WITH INTEGRAL LIGHTING.  
2. DESIGNED BY LANDSCAPE ARCHITECT AND FABRICATED BY ORE INC. (www.orecontainers.com).

**04** SPECIAL FEATURE (CONCEPT)  
SCALE: N.T.S.

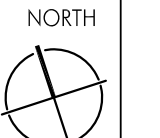


REVISIONS

REVISIONS	DATE
SITE PERMIT	09.16.13

SITE FURNITURE  
AND FEATURES

ORIGINAL ISSUE DATE  
09.16.13  
DESIGNED BY  
TR, NC  
DRAWN BY  
NC  
CHECKED BY  
TR



SCALE  
1"=10'-0"  
0 5 10 20  
FEET

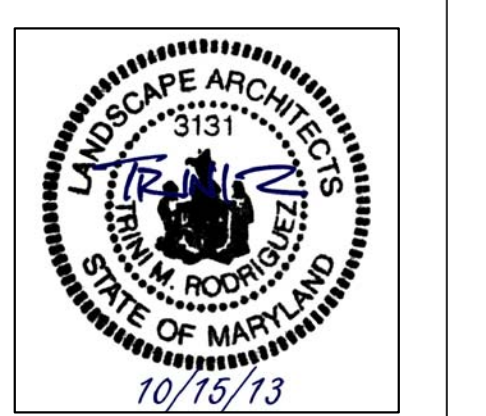
L2.50

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Phone: (240) 399-1421  
Signature: \_\_\_\_\_

**M-NCPPC APPROVAL STAMP**  
Certified Site Plan  
File No. 81983121A  
Montgomery County Planning Board  
Chair or Designee \_\_\_\_\_ Date \_\_\_\_\_  
MONTGOMERY COUNTY PLANNING DEPARTMENT  
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

SITE PERMIT - 09.16.13





REVISIONS

SITE PERMIT	09.16.13
DESIGN DEVELOPMENT SET	10.15.13
BID SET	11.14.13

PLANTING  
PLAN

ORIGINAL ISSUE DATE  
09.16.13

DESIGNED BY  
TR, NC

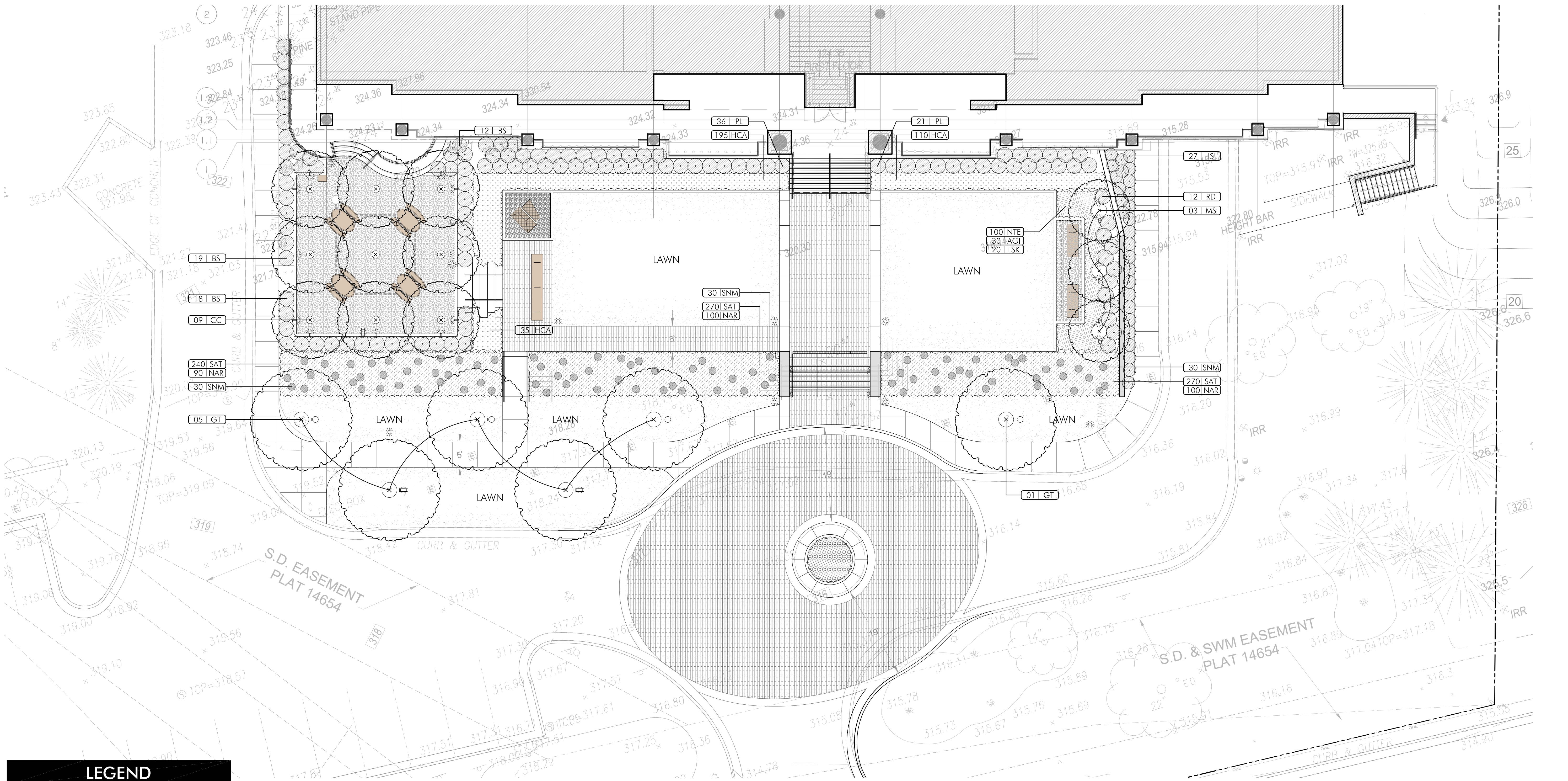
DRAWN BY  
NC

CHECKED BY  
TR

NORTH

SCALE  
1"=10'-0"

L3.00



**LEGEND**

**PLANTING**

- (6) CANOPY TREES  
*Gleditsia triacanthos*  
(Honey Locust)
- (9) SHADE TREES  
*Carpinus caroliniana*  
(American Hornbeam)
- (3) ORNAMENTAL TREES  
*Magnolia stellata*  
(Star Magnolia)
- Shrubs
- Ornamental Grasses
- Perennials
- Bulbs
- Groundcovers

7811 MONTROSE ROAD  
Planting Schedule - 11.14.13

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	COMMENTS
<b>Trees</b>						
9	CC	<i>Carpinus caroliniana</i>	American Hornbeam	8-10 ht.	B&B	single stem; full branching
6	GT	<i>Gleditsia triacanthos inermis 'Halka'</i>	Shademaster Honeylocust	3-3 1/2' cal.	B&B	single leader; full branching
3	MS	<i>Magnolia stellata</i>	Star Magnolia	7-8 ht.	B&B	multistem - 3 stems minimum; full branching
<b>Evergreen Shrubs</b>						
27	IS	<i>Ilex crenata 'Stedds'</i>	Stedds Japanese Holly	30'-36" ht.	Cont.	full branching to ground
50	BS	<i>Buxus sempervirens 'Suffruticosa'</i>	Dwarf English Boxwood	24-30" ht.	Cont.	full branching to ground
57	PL	<i>Prunus laurocerasus 'Otto Luykers'</i>	Otto Luykers Cherry Laurel	24-30" ht.	B&B	full branching;
12	RD	<i>Rhododendron 'Delaware Valley White'</i>	White Azalea	24-30" ht.	Cont.	full branching;
<b>Perennials</b>						
20	LSK	<i>Liatris spicata</i>	Gayfeather	1 gal.	Cont.	24" o.c.; accent
90	SNM	<i>Salvia nemerosa 'Mainacht'</i>	May Night Salvia	1 gal.	Cont.	12" o.c.; accent
100	NTE	<i>Nassella tenuissima</i>	Mexican Feather Grass	2 gal.	Cont.	24" o.c.
340	HCA	<i>Hypericum calycinum</i>	St. John's Wort	1 gal.	Cont.	18" o.c.
<b>Perennials</b>						
780	SAT	<i>Sesleria autumnalis</i>	Autumn Moor Grass	1 gal.	Cont.	18" o.c. - fully rooted, grown to pot size
<b>Bulbs</b>						
30	AGI	<i>Allium giganteum</i>	Ornamental Onion		bulbs	accent
290	NAR	<i>Narcissus 'Thalia', 'Silver Chimes', 'Tresamble'</i>	White Daffodils mixture		bulbs	accent

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Phone: (240) 399-1421

Signature: \_\_\_\_\_

**M-NCPPC APPROVAL STAMP**

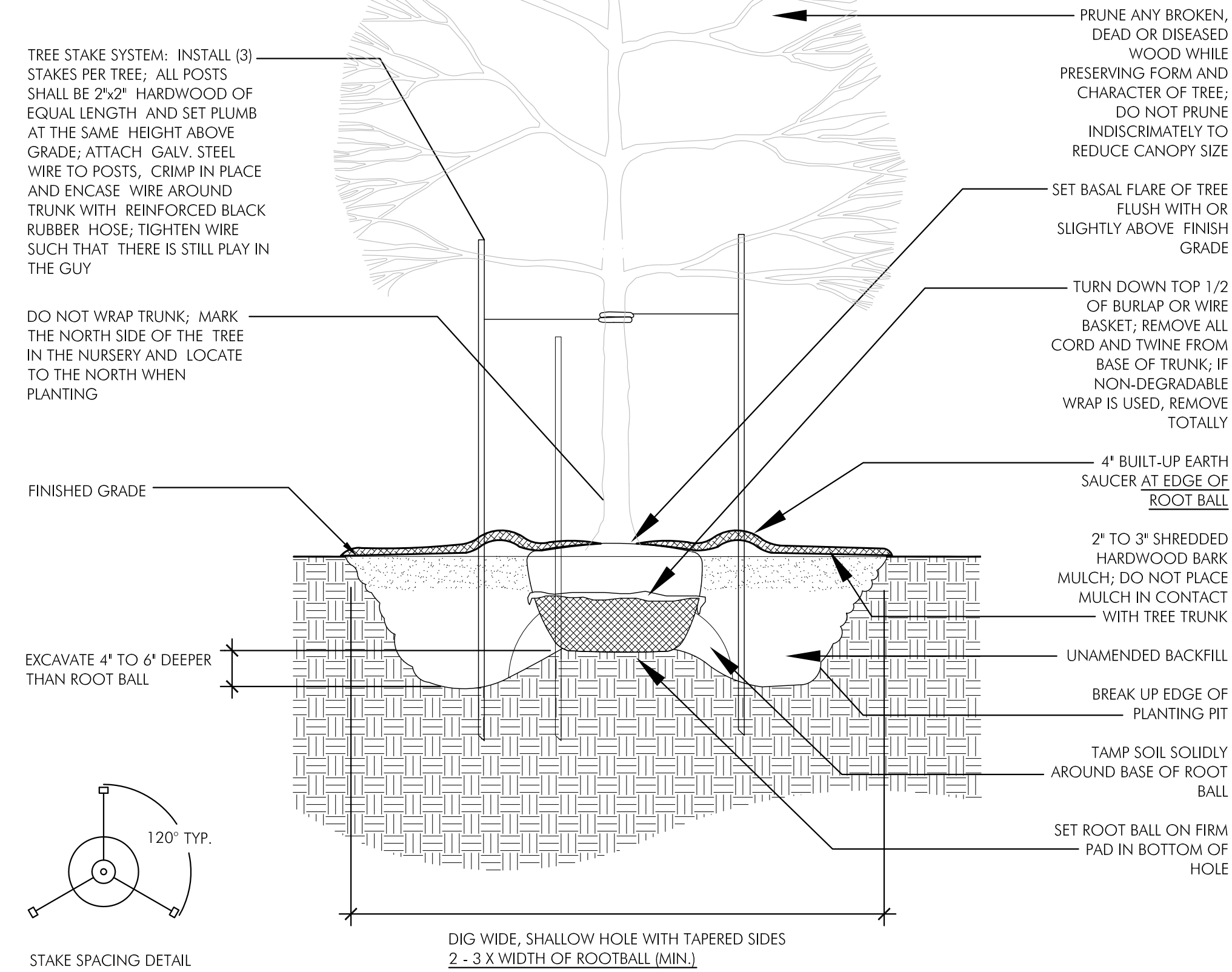
Certified Site Plan  
File No. 81983121A  
Montgomery County Planning Board

Chair or Designee \_\_\_\_\_ Date \_\_\_\_\_

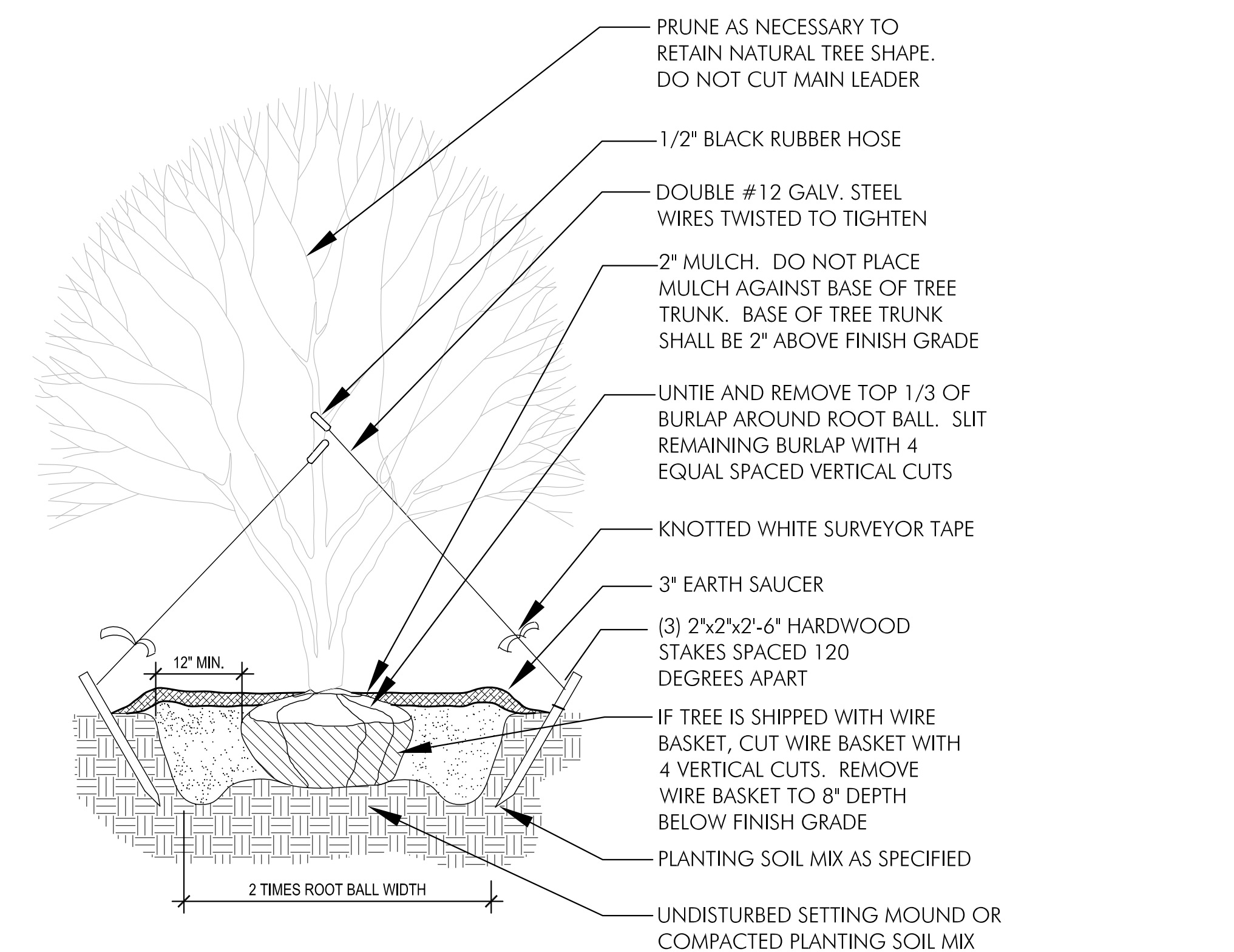
MONTGOMERY COUNTY PLANNING DEPARTMENT  
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

BID SET - 10.15.13 - NOT FOR CONSTRUCTION

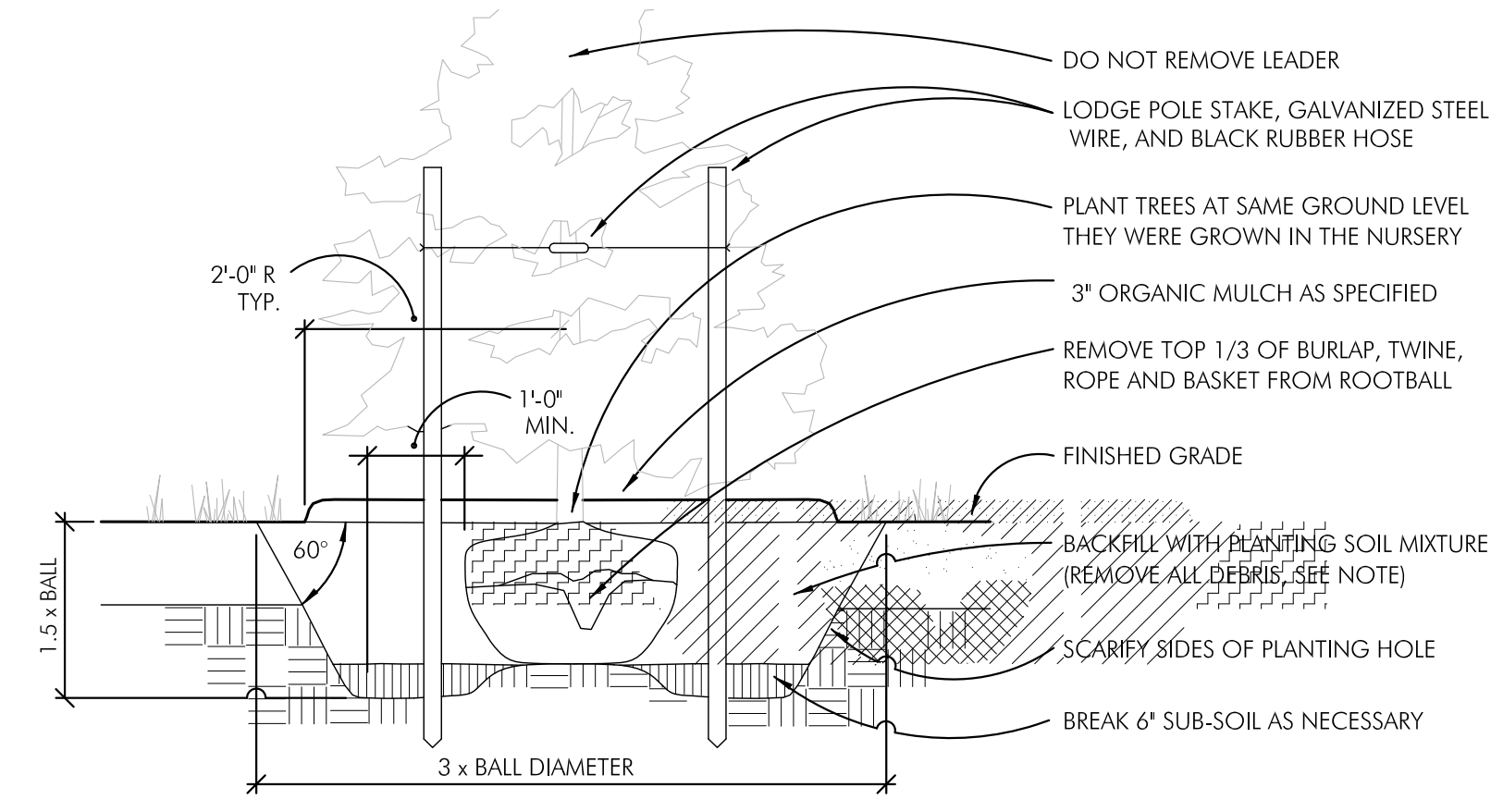




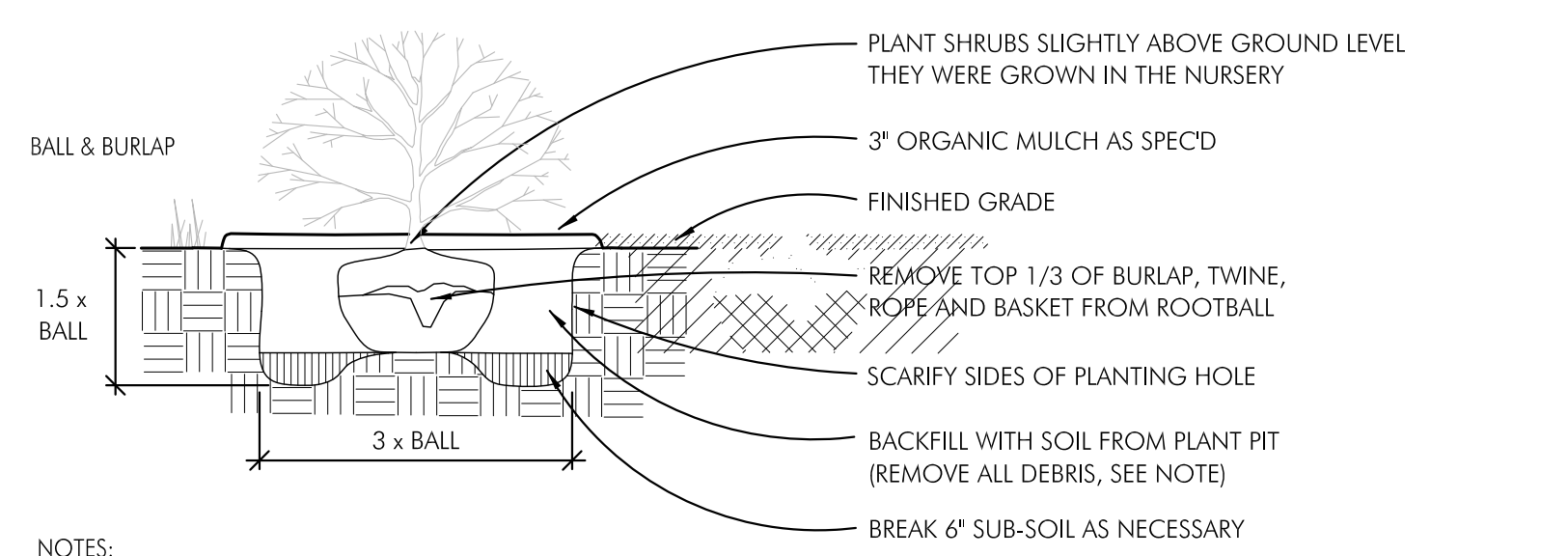
**01 TREE PLANTING (STAKED)**  
SCALE : N.T.S.



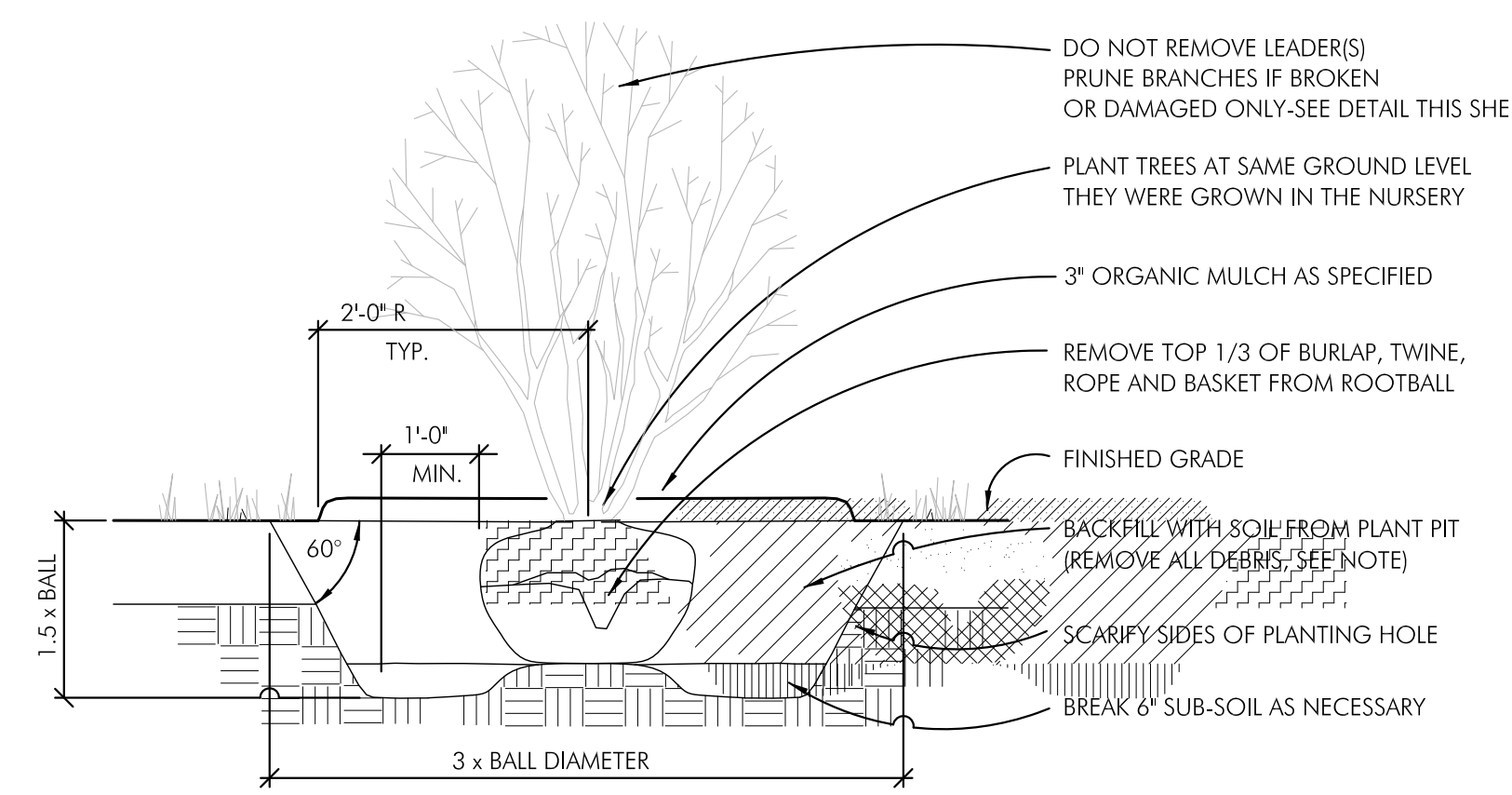
**02 MULTI-STEM TREE PLANTING**  
SCALE : N.T.S.



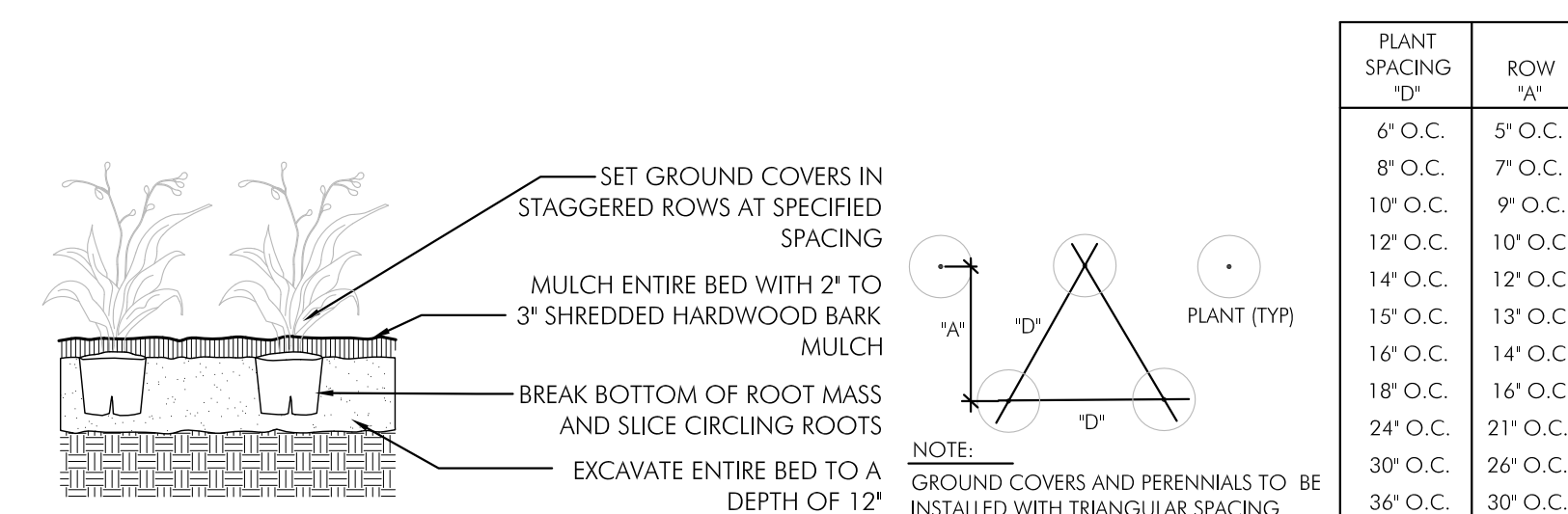
**04 EVERGREEN TREE PLANTING (STAKED)**  
SCALE : N.T.S.



**05 SHRUB PLANTING**  
SCALE : N.T.S.



**06 MULTISTEM SHRUB PLANTING**  
SCALE : N.T.S.



**07 GROUND COVER PLANTING AND SPACING**  
SCALE : N.T.S.

PLANTING NOTES

1. Contractor shall be responsible for making himself familiar with all underground utilities, pipes and structures. Contractor shall take sole responsibility for any cost incurred due to damage to utilities, pipes and structures.
2. Do not proceed with construction as designed when it is obvious that obstructions and/or grade differences exist that may not have been known during design. Such conditions shall immediately be brought to the attention of the Landscape Architect. The Contractor shall assume complete responsibility for all necessary revisions due to failure to give such notification.
3. All plant material shall be approved by the Landscape Architect prior to its arrival on site.
4. Final location of all plant material shall be subject to the approval of the Landscape Architect. The Contractor shall notify the Landscape Architect for inspection of plant layout after the layout of each area and before installation.
5. See details and specifications for staking methods, plant pit dimensions and planting soil requirements.
6. Soil amendments and fertilizer specified are to be used for bid price basis only. Specific amendments and fertilizer application will be determined after grading operations are complete and soil test results are in. For ground covers and perennial beds, substitute 3 lbs. of bone meal per 100 square feet for inorganic fertilizer.
7. No planting shall be done before acceptance of grading by the project Landscape Architect.
8. No substitutions of plant species shall be made without the prior written permission of the Landscape Architect.
9. No existing trees or shrubs shall be removed by the Contractor without prior approval of the Landscape Architect.
10. All areas disturbed by construction operations and not otherwise specified shall be seeded/sodded per the Specifications.
11. Number of plants to be installed shall be the number shown on the Drawings. If there are conflicts between the number of plants shown on the Drawings and the number shown in the Plant List, the number of plants on the Drawings shall be installed. Bring all such conflicts to the attention of the Landscape Architect.
12. Protect trees noted as "tree to be protected in place" by placement of fencing at the perimeter of the drip line. Location of fencing shall be approved by Landscape Architect in advance. No construction operations (except planting, if indicated on the Drawings) or storage of construction materials or equipment are permitted inside the fenced area.

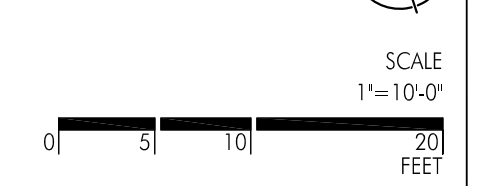


REVISIONS

DATE	DESCRIPTION
09.16.13	SITE PERMIT
10.15.13	DESIGN DEVELOPMENT SET
11.14.13	BID SET

PLANTING  
DETAILS

DATE	DESCRIPTION
09.16.13	ORIGINAL ISSUE DATE
TR, NC	DESIGNED BY
NC	DRAWN BY
TR	CHECKED BY
NORTH	



BID SET - 10.15.13 - NOT FOR CONSTRUCTION

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Company     Contact Person  
Address: WILLCO Companies - 7811 Montrose Road - Potomac, MD 20854  
Phone: (240) 399-1421

Signature: \_\_\_\_\_

**M-NCPPC APPROVAL STAMP**

Certified Site Plan  
File No. 81983121A  
Montgomery County Planning Board

Chair or Designee     Date


MONTGOMERY COUNTY PLANNING DEPARTMENT  
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION



### RESIDENZA Z LED

**Specification**

The slender cylindrical form of the RESIDENZA column adds a subtle styling element to pedestrian areas. The extruded aluminum shaft with flush handle transitions seamlessly to the cast aluminum luminaire housing. Cylindrical lens is clear acrylic, faceted reflector for ceramic metal halide is available with Type V or Type III distributions. LED models are available with Type II or Type III distributions. Luminaire and column are finished in finely textured paint. Luminaire is available in flanged or flangeless models. All hardware is stainless steel. Standard colors, matte silver grey metallic or graphite grey.



### RESIDENZA Z LED

**Specification**

**HOUSING**  
Luminaire base is cast aluminum and is secured to pole top with concealed hardware. Clear acrylic cylindrical lens with bonded aluminum top is secured to the housing with single stainless steel cap screw. Satin anodized ring encloses the LED module at the top of the lens compartment as a decorative element. Lens is sealed to the housing with silicone gasketing.

**OPTICS**  
Optics include one LED module assembly mounted within cylindrical clear acrylic lens. The module consists of a field replaceable aluminum core PCB with fourteen high-power LEDs and a single piece prismatic lens molded from optical quality acrylic. The prismatic lens reflects light output from the individual LEDs and is available in two distributions as a Type III distribution (ME optics) or Type II (S optics).

**ELECTRICAL**  
Electronic LED driver supplies 500mA drive current to LED modules with input voltage range from 120v to 277v at 50/60Hz. Power consumption is 24 watts.

**LAMPING OPTIONS**  
LEVO LED Module: 3000K, 4000K, or 5000K with CRI of 80+

**NOTE:** Due to rapid and continuous advances in LED technology, LED luminaire data is subject to change without notice and at the discretion of HessAmerica. Consult factory for current technical data.


**COLUMN**  
Aluminum column is manufactured from seamless 6061 aluminum tubing with nominal wall thickness of 0.396" and is heat treated to produce a T6 temper. Flush mounted handle cover is plasma cut with kerf not to exceed 1/8" and includes triangular tamper-resistant locking device. Standard mounting is with internal flange and anchor bolts. Optional external flange with anchor bolts and base cover available on request. One-piece base cover is 0.80" span aluminum and finished to match the pole. Nominal column height is 14.5'.

**FINISH**  
Housing is cleaned ultrasonically prior to painting. Standard finish is finely textured matte silver grey metallic or graphite grey. Special colors available on request.

**WARRANTY**  
Limited product warranty period is three years. Lamp and ballast shall carry the manufacturer limited warranty.

### RESIDENZA Z LED

**Additional information**



Model	LED Module	Color Temperature	Distribution	Volt	Pole	Finish
RS200ZA	iV - i LEVO Module	WW - 3000K	ME - Type III	120-277V	14.5RB - 14.5' Round Column	SG - Silver Grey
		NW - 4000K	S - Type II			GG - Graphite Grey
		CW - 5000K				CC - Custom Color

Ordering Information  
RS200ZA iV      UNV      14.5RB

Specifications are subject to change without notification  
HessAmerica | Products | Lighting Products | Illuminating Columns | RESIDENZA Z  
[http://www.hessamerica.com/Products/Lighting/Illuminating\\_Columns/RESIDENZA\\_Z/](http://www.hessamerica.com/Products/Lighting/Illuminating_Columns/RESIDENZA_Z/) Page 1

Specifications are subject to change without notification  
HessAmerica | Products | Lighting Products | Illuminating Columns | RESIDENZA Z  
[http://www.hessamerica.com/Products/Lighting/Illuminating\\_Columns/RESIDENZA\\_Z/](http://www.hessamerica.com/Products/Lighting/Illuminating_Columns/RESIDENZA_Z/) Page 2

Specifications are subject to change without notification  
HessAmerica | Products | Lighting Products | Illuminating Columns | RESIDENZA Z  
[http://www.hessamerica.com/Products/Lighting/Illuminating\\_Columns/RESIDENZA\\_Z/](http://www.hessamerica.com/Products/Lighting/Illuminating_Columns/RESIDENZA_Z/) Page 3

## 01 POLE LIGHT (COLUMN LIGHT)

SCALE: N.T.S.

### SATURN SR

**Features & Specifications**

**APPLICATIONS**  
The SATURN SR wall sconce is the perfect solution for a unique wall and surface lighting projects including interior and exterior hallways, stairwells and other decorative features.

**GENERAL DESCRIPTION**  
Clean, minimal sconce for dramatic wall lighting with multiple options to create white and colored light effects with precision beam angles. Unparalleled performance and uniformity in a durable machined aluminum body.

**ELECTRICAL**  
120-277Vac input, 50-60Hz; Internal Class 2 driver designed to work with standard 4-watt electrical gang box. Wattage consumption: 6.9 watts per Actar LED (30CP-448) and 2.1 watts per Actar LED (30CP-228).

**OPTICS**  
CFL is equipped with the following optics:  
Two Illumitex Actar V4 LEDs (50° beam); or  
Two Illumitex Actar LEDs (10° beam); or  
One of each.

**MECHANICAL**  
3" O.D. housing; 1/2" O.D. wall plate; machined 6063-T6 aluminum alloy shell; stainless steel hardware; high temperature silicone gaskets; injection molded acrylic lens.

**FINISH**  
Black, bronze, clear, and champagne anodized finish for superior resistance to weather and fading. Polished clear coat is also available for indoor use only.

**TESTING AND COMPLIANCE**

- ETL/cETL listed
- IP66 protection rating
- RoHS compliant
- 5 year limited warranty

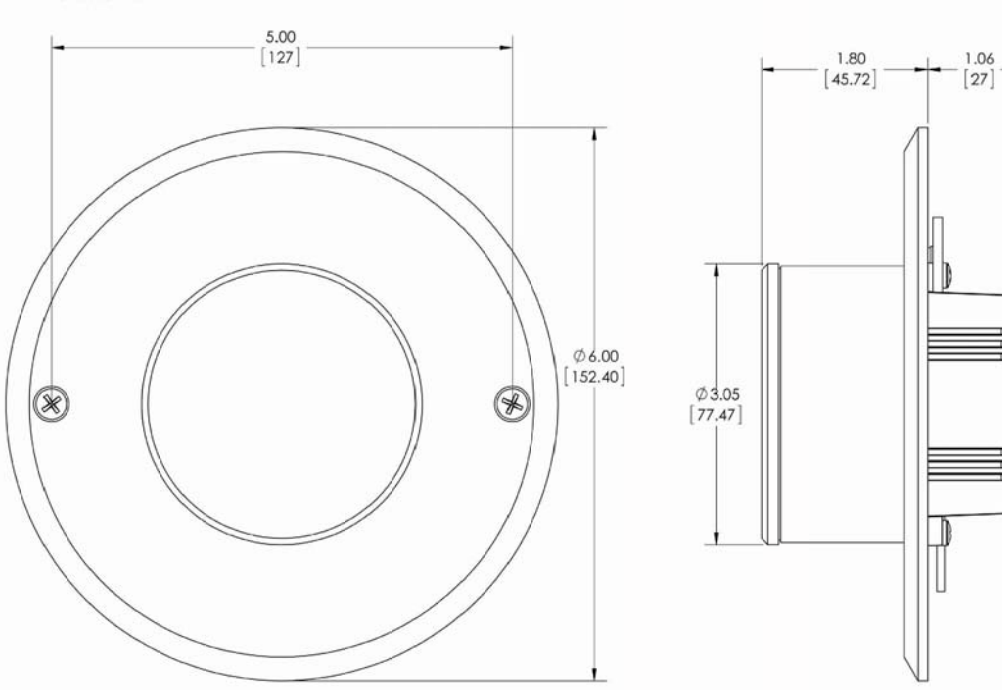
**Part No. Ordering Guide**  
Enter the 1-2 character code for each boxed category in the corresponding field.

SERIES	LED TYPE 1	LED 1 COLOR	LED TYPE 2	LED 2 COLOR	FINISH	VOLTAGE
SR = 3" round	AD = Actar	BW = 3000K	AD = Actar	BW = 3000K	BL = Black anodized	U = 120-277Vac
	AR = Actar	DI = 4000K	AR = Actar	DI = 4000K	BZ = Bronze anodized	
		BL = Blue	NO = None	NO = None	CA = Clear anodized	
					CS = Clear anodized	
					CP = Champagne anodized	
					CR = Polished clear coat*	

\*Indoor use only.

### SATURN SR

**Dimensions**



**illuminetx**  
Precision Light. Infinite Possibilities.

5307 Industrial Oaks Blvd., Suite 100  
Austin, TX 78725  
Tel: 512.279.5020

**illuminetx**  
Precision Light. Infinite Possibilities.

5307 Industrial Oaks Blvd., Suite 100  
Austin, TX 78725  
Tel: 512.279.5020

### VERSA VM

**Features and Specifications**

**APPLICATIONS**  
The VERSA VM machined aluminum low voltage accent is the perfect solution for a broad range of lighting projects including landscape, ornamental trees, statues, signage and other decorative features.

**GENERAL DESCRIPTION**  
Switchable light output (patent pending), interchangeable beam spreads and choice of two provided shrouds allow a total of 36 configurations in one fixture. Equipped with one (1) Illumitex Actar V4 LED (5000K) or 4000K with up to 65% of the light in the beam angle. Unparalleled performance and uniformity in a durable machined aluminum body.

**WATTAGE CONSUMPTION**  
• 766mA = 11.5 watts      • 336mA = 5.5 watts  
• 600mA = 9.0 watts      • 185mA = 3.0 watts

**SHROUD OPTIONS**  
• Long Shroud (45°)  
• Barrel Shroud (45°)

**ELECTRICAL**  
120vac input, 50-60Hz; Internal Class 2 driver with four (4) field adjustable drive currents. (Patent pending)  
3' low voltage cable, 12V transformer by other.  
CETC = up to 3459.

**OPTICS**  
22°, 36° and 50° beam spreads (shipped with 50° installed, 22° and 36° optics included in box, long and barrel shrouds included in box).

**MECHANICAL**  
2.5" O.D. machined 6063-T6 aluminum alloy billet; stainless steel hardware; 1/2" - 14 NPT fitter; high temperature silicone gaskets.

**FINISHES**  
Black, Bronze and Clear 2-step architectural anodized finish for superior resistance to weather and fading.

**TESTING AND COMPLIANCE**

- ETL/cETL listed
- IP66 protection rating
- RoHS compliant
- 5 year warranty

**PART NO. ORDERING GUIDE**  
Enter the 1-2 character code for each boxed category in the corresponding field.

SERIES	# OF LED	DRIVE CURRENT	FINISH
VM	1 = 1 Qty LED	7A1 = 583, 330, 180mA Not adjustable	CA = Clear anodized BL = Black anodized BZ = Bronze anodized

**OPTICS**  
A1 = 22°, 36°, 50°  
All include

**COLOR TEMP**  
BW = 3000K  
DI = 4000K

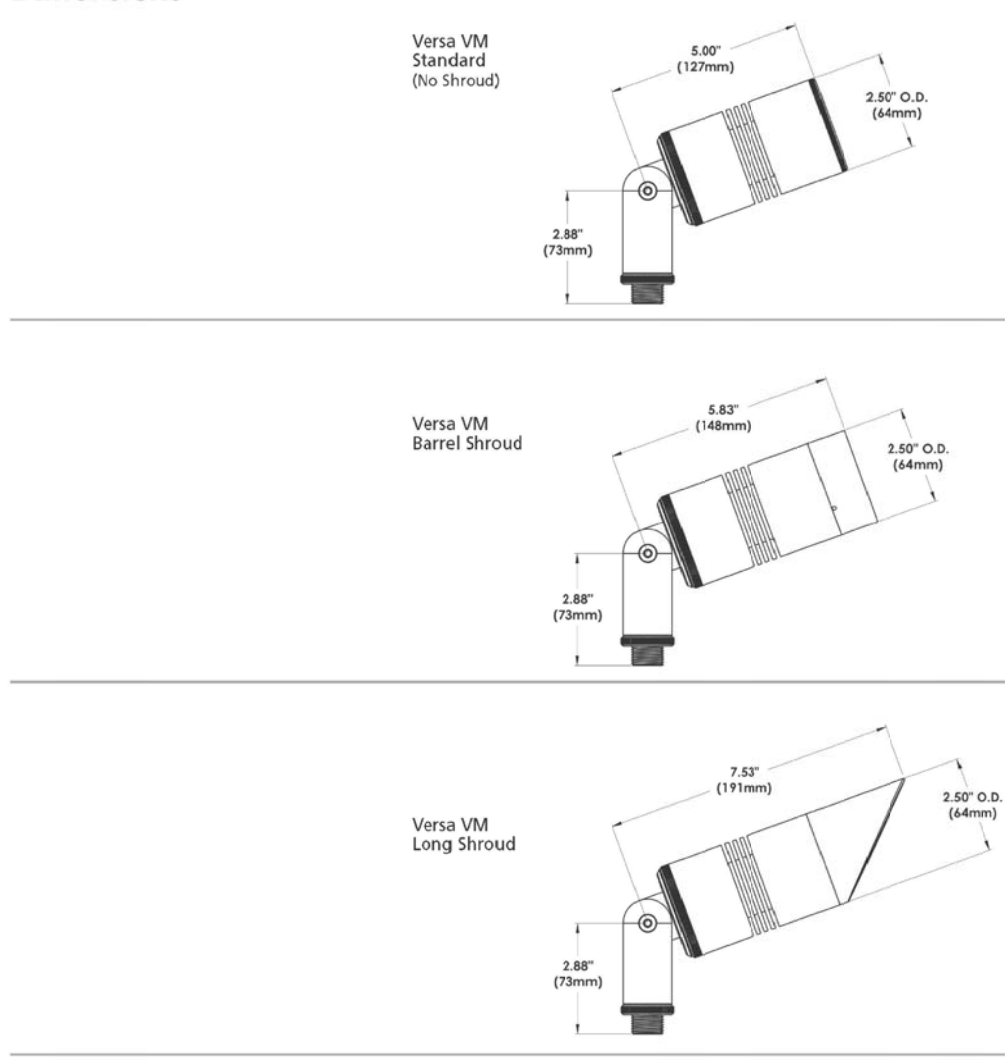
**INPUT**  
12 = 12Vac

**illuminetx**  
Precision Light. Infinite Possibilities.

5307 Industrial Oaks Blvd., Suite 100  
Austin, Texas 78725  
Tel: 512.279.5020

### VERSA VM

**Dimensions**



**illuminetx**  
Precision Light. Infinite Possibilities.

5307 Industrial Oaks Blvd., Suite 100  
Austin, Texas 78725  
Tel: 512.279.5020

## 02 WALL MOUNTED

SCALE: N.T.S.

## 03 TREE UPLIGHT

SCALE: N.T.S.

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Chair or Designee      Date

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REVISIONS

SITE PERMIT	09.16.13
DESIGN DEVELOPMENT SET	10.15.13
BID SET	11.14.13

## LIGHTING DETAILS

ORIGINAL ISSUE DATE  
09.16.13


DESIGNED BY  
TR, NC

DRAWN BY  
NC

CHECKED BY  
TR

NORTH

SCALE  
1" = 10'-0"



BID SET - 10.15.13 - NOT FOR CONSTRUCTION

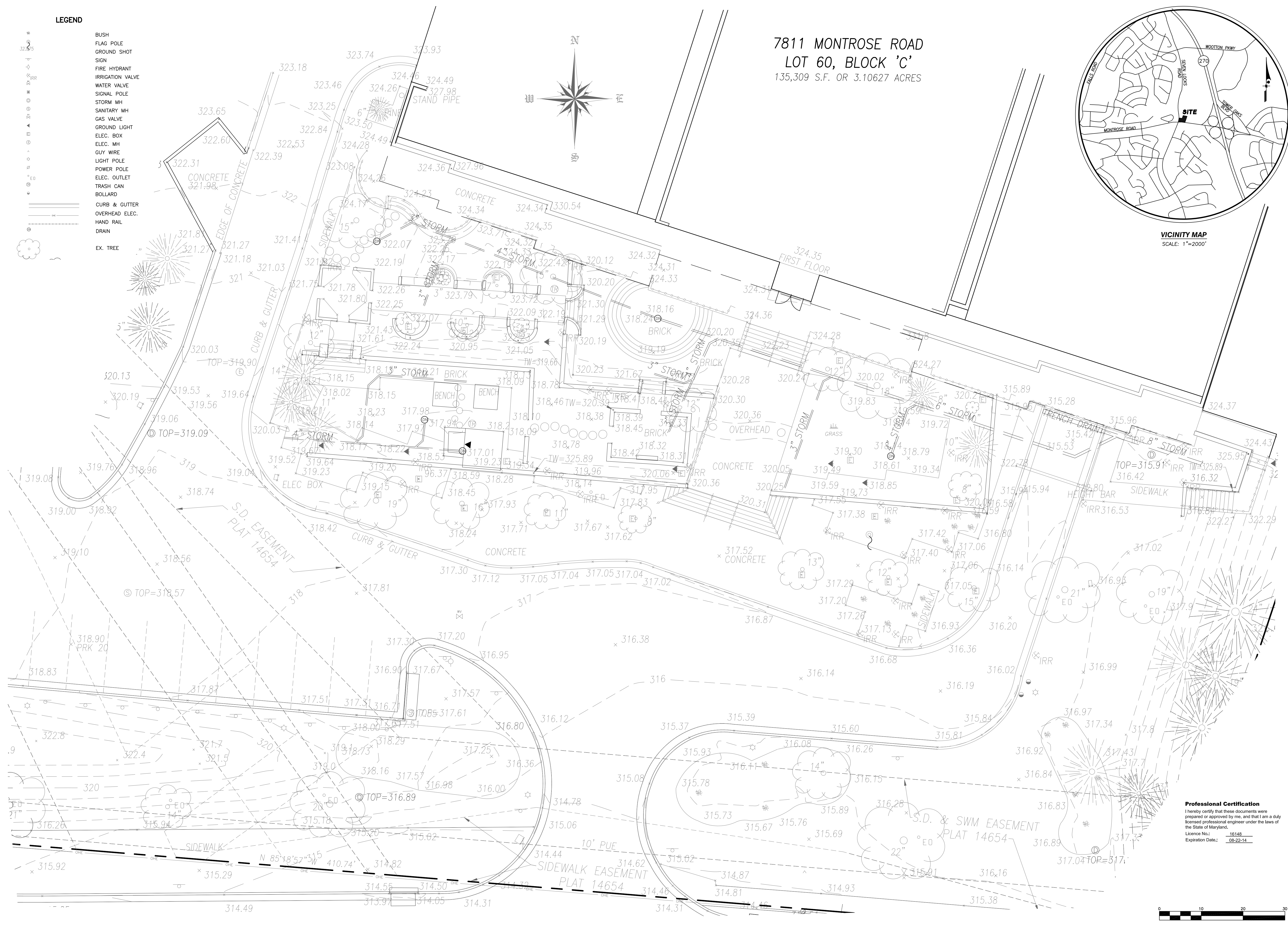
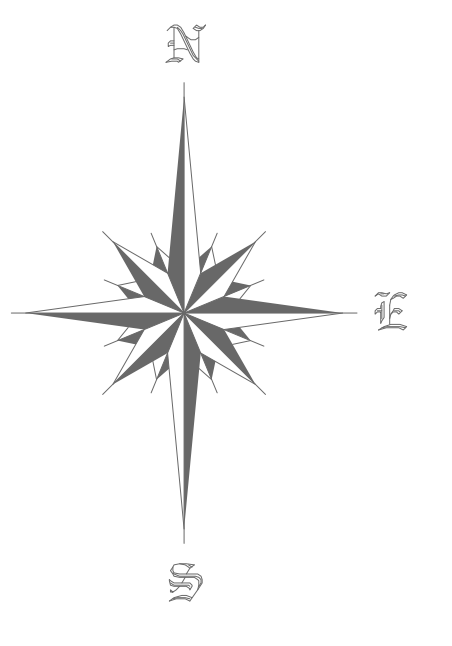
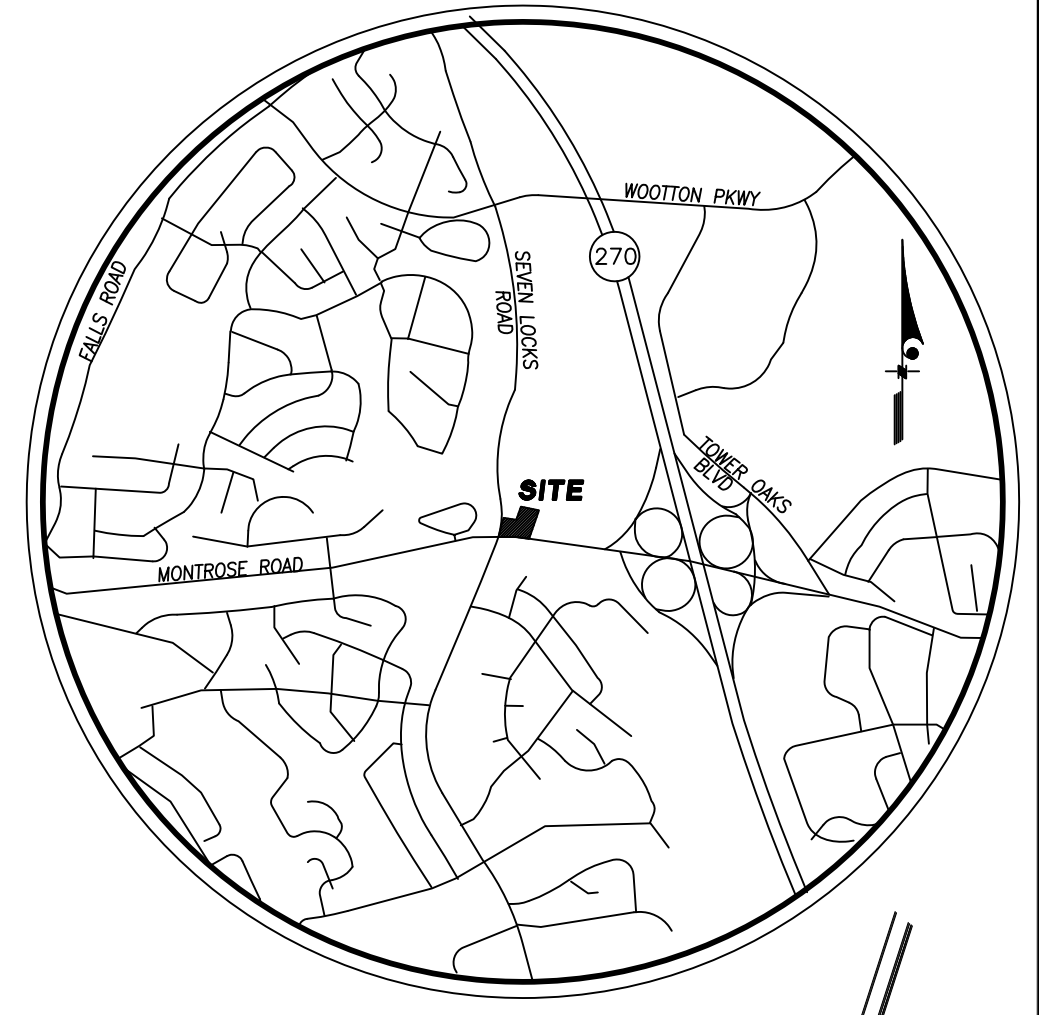
L4.10



**LEGEND**

- BUSH
- FLAG POLE
- GROUND SHOT
- SIGN
- FIRE HYDRANT
- IRRIGATION VALVE
- WATER VALVE
- SIGNAL POLE
- STORM MH
- SANITARY MH
- GAS VALVE
- GROUND LIGHT
- ELEC. BOX
- ELEC. MH
- GUY WIRE
- LIGHT POLE
- POWER POLE
- ELEC. OUTLET
- TRASH CAN
- BOLLARD
- CURB & GUTTER
- OVERHEAD ELEC.
- HAND RAIL
- DRAIN
- EX. TREE

**7811 MONTROSE ROAD**  
**LOT 60, BLOCK 'C'**  
 135,309 S.F. OR 3.10627 ACRES



REV. NO.	DATE	REVISIONS PRIOR TO APPROVAL

205 N. Frederick Ave., S.100  
 Gaithersburg, MD 20877  
 Tel. (301) 963-1133  
 Fax: (301) 963-6306  
 www.jba-inc.net

**J.B.A.**  
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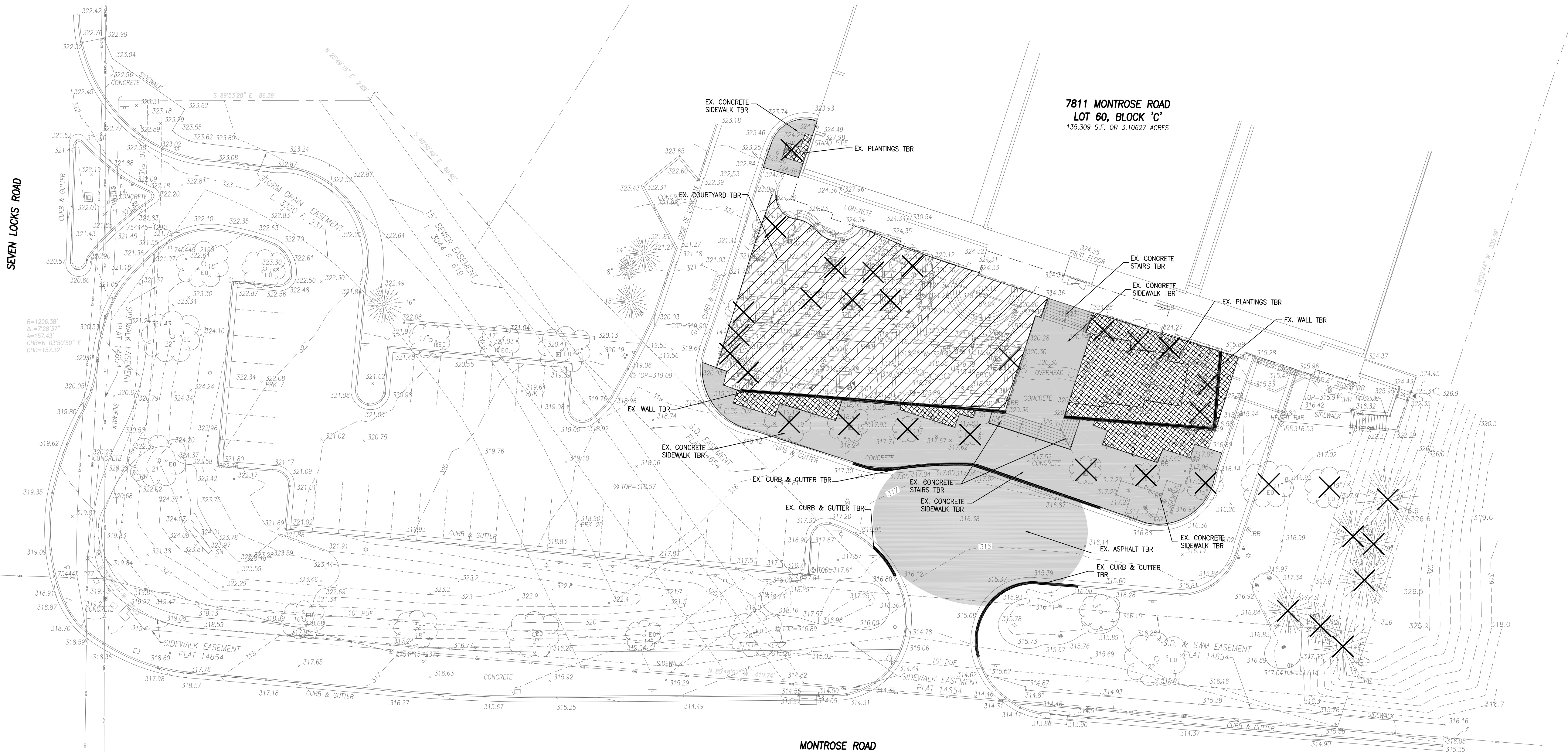
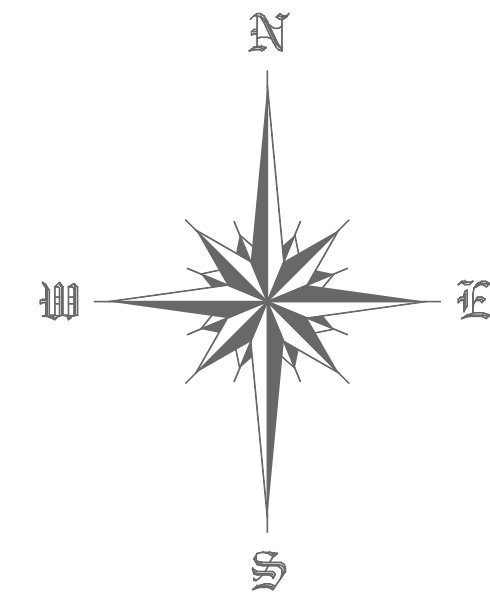
**7811 MONTROSE ROAD**  
**EXISTING CONDITIONS PLAN**  
 POTOMAC, MARYLAND

**Professional Certification**  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No.: 16148  
 Expiration Date: 08-22-14

PLAN NO.:  
 SCALE: 1"=10'  
 DATE: 11/1/13  
 SHEET: C-101  
 FILE NO: 13-017







- LEGEND**
- BUSH
  - FLAG POLE
  - GROUND SHOT
  - SIGN
  - FIRE HYDRANT
  - IRRIGATION VALVE
  - WATER VALVE
  - SIGNAL POLE
  - STORM MH
  - SANITARY MH
  - GAS VALVE
  - GROUND LIGHT
  - ELEC. BOX
  - ELEC. MH
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  - LIGHT POLE
  - POWER POLE
  - ELEC. OUTLET
  - TRASH CAN
  - BOLLARD
  - CURB & GUTTER
  - OVERHEAD ELEC.
  - HAND RAIL
  - DRAIN
  - EX. TREE
  - EX. TREE TO BE REMOVED

- DEMOLITION LEGEND**
- EXISTING VEGETATION TO BE REMOVED
  - EXISTING COURTYARD TO BE REMOVED
  - EXISTING PAVING TO BE REMOVED
  - EXISTING FEATURE TO BE REMOVED

**Professional Certification**  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No.: 18148  
 Expiration Date: 08-22-14



**7811 MONTROSE ROAD**  
**DEMOLITION PLAN**  
 POTOMAC, MARYLAND



PLAN NO.:  
 SCALE: 1"=20'  
 DATE: 11/1/13  
 SHEET: C-1.02  
 FILE NO: 13-017

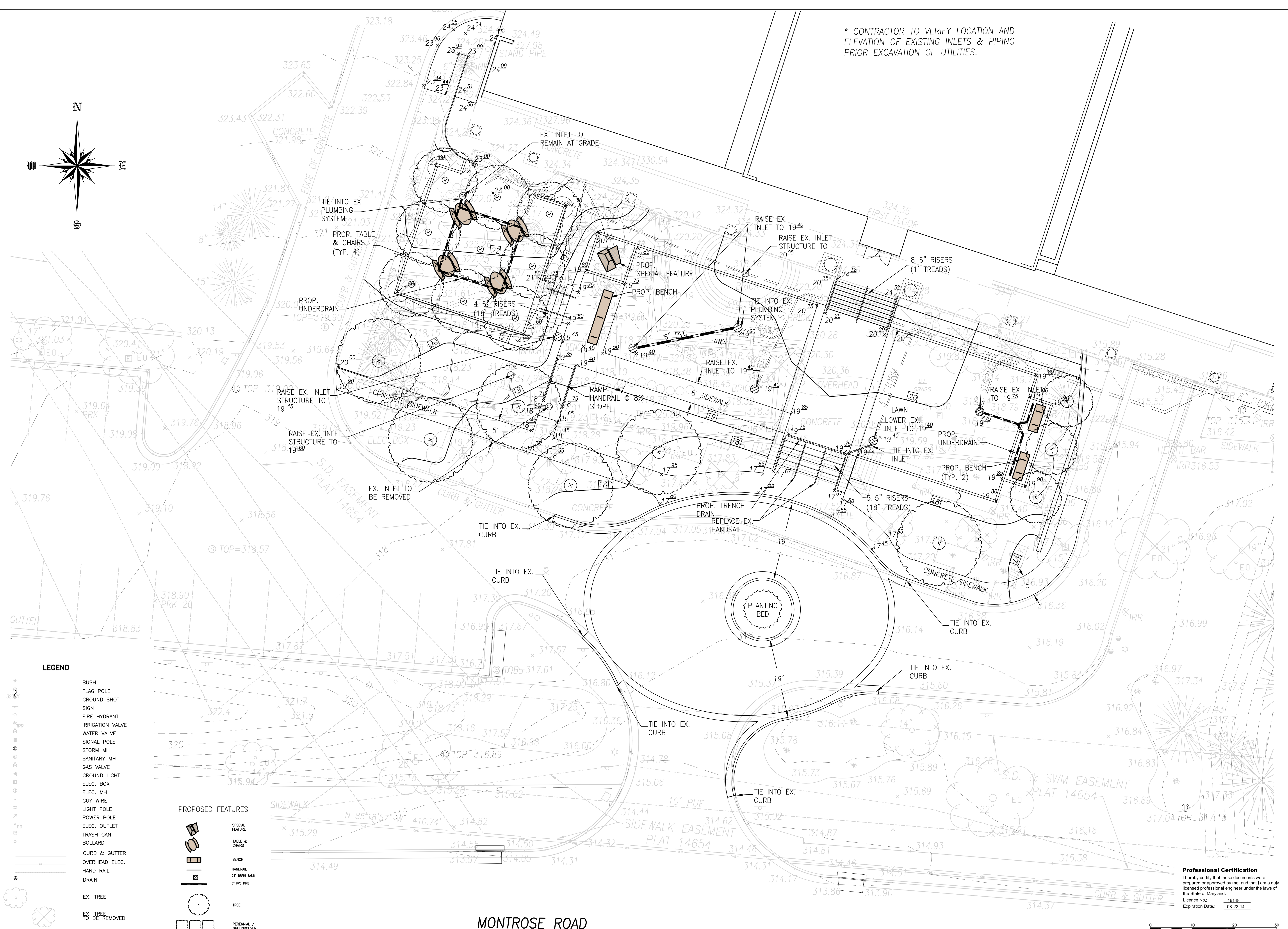
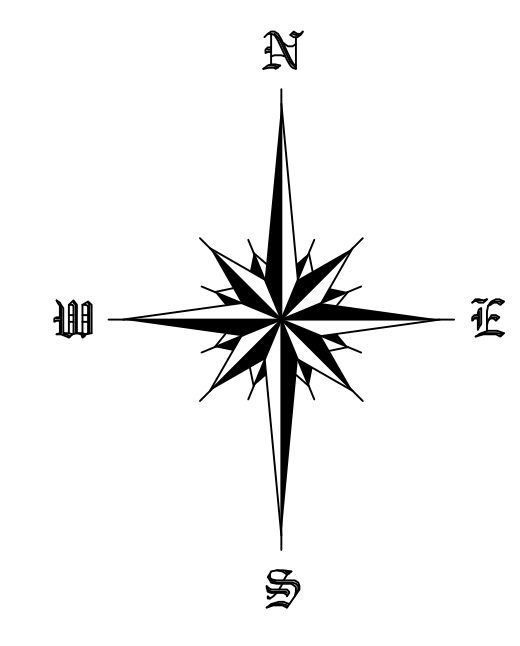
REV.	DATE	REVISIONS PRIOR TO APPROVAL

**J.B.A.**  
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 Engineering • Surveying • Planning

205 N. Frederick Ave., S.100  
 Gaithersburg, MD 20877  
 Tel. (301) 963-1133  
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 www.jba-inc.net



\* CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF EXISTING INLETS & PIPING PRIOR EXCAVATION OF UTILITIES.



**LEGEND**

- BUSH
- FLAG POLE
- GROUND SHOT
- SIGN
- FIRE HYDRANT
- IRRIGATION VALVE
- WATER VALVE
- SIGNAL POLE
- STORM MH
- SANITARY MH
- GAS VALVE
- GROUND LIGHT
- ELEC. BOX
- ELEC. MH
- GUY WIRE
- LIGHT POLE
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- ELEC. OUTLET
- TRASH CAN
- BOLLARD
- CURB & GUTTER
- OVERHEAD ELEC.
- HAND RAIL
- DRAIN
- EX. TREE
- EX. TREE TO BE REMOVED

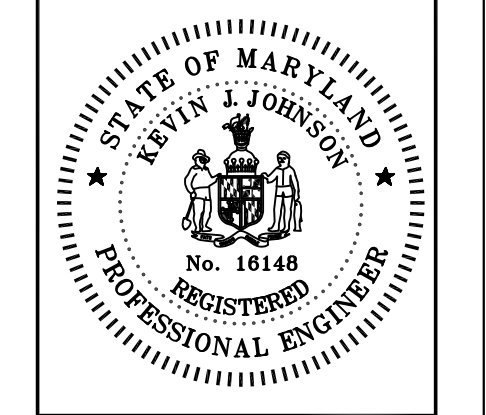
**PROPOSED FEATURES**

- SPECIAL FEATURE
- TABLE & CHAIRS
- BENCH
- HANDRAIL
- 24" DRAIN BASH
- 6" PVC PIPE
- TREE
- PERENNIAL/GRAZINGCOVER

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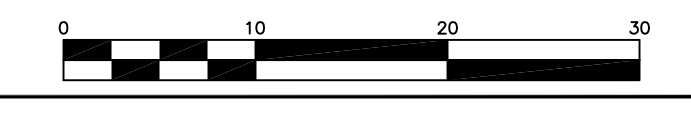
REV.	DATE	REVISIONS PRIOR TO APPROVAL

**7811 MONTROSE ROAD**  
 SITE & UTILITY PLAN  
 POTOMAC, MARYLAND



**Professional Certification**  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No.: 16148  
 Expiration Date: 08-22-14

PLAN NO.:  
 SCALE: 1"=10'  
 DATE: 11/1/13  
 SHEET: C-1.03  
 FILE NO: 13-017



MONTROSE ROAD



**STANDARD EROSION AND SEDIMENT CONTROL NOTES**

- The permittee shall notify the Department of Permitting Services (DPS) forty-eight (48) hours before commencing any land disturbing activity and, unless waived by the Department, shall be required to hold a pre-construction meeting between them and their representative, their engineer and an authorized representative of the Department.
- The permittee must obtain inspection and approval by DPS at the following points:
  - At the required pre-construction meeting.
  - Following installation of sediment control measures and prior to any other land disturbing activity.
  - During the installation of a sediment basin or stormwater management structure at the required inspection points (see Inspection Checklist on plan). Notification prior to commencing construction is mandatory.
  - Prior to removal or modification of any sediment control structure(s).
  - Prior to final acceptance.
- The permittee shall construct all erosion and sediment control measures per the approved plan and construction sequence. All measures shall be inspected and approved by the Department prior to beginning any other land disturbing activities, shall ensure that all runoff from disturbed areas is directed to the sediment control devices, and shall not remove any erosion or sediment control measure without prior permission from the Department.
- The permittee shall protect all points of construction ingress and egress to prevent the deposition of materials onto traversed public thoroughfare(s). All materials deposited onto public thoroughfare(s) shall be removed immediately.
- The permittee shall inspect periodically and maintain continuously in effective operating condition, all erosion and sediment control measures until such times as they are removed with prior permission from the Department. The permittee is responsible for immediately repairing or replacing any sediment control measures which have been damaged or removed by the permittee or any other person.
- All sediment basins, trap embankments, perimeter dikes, and all disturbed slopes steeper or equal to 3:1 shall be stabilized with sod, seed, and anchored straw mulch, or other approved stabilization measures, within seven (7) calendar days of establishment. All areas disturbed outside of the perimeter sediment control system must be minimized and stabilized immediately. Maintenance must be performed as necessary to ensure continued stabilization.
- The permittee shall apply sod, seed, and anchored straw mulch, or other approved stabilization measures to all disturbed areas within fourteen (14) calendar days after stripping and grading activities have ceased in that area. Maintenance shall be performed as necessary to ensure continued stabilization. Active construction areas, such as borrow or stockpile areas, roadway improvements, and areas within fifty (50) feet of a building under construction may be exempt from this requirement, provided that erosion and sediment control measures are installed and maintained to protect those areas.
- Prior to removal of sediment control measures, the permittee shall stabilize all contributory disturbed areas with required soil amendments and topsoil, using sod or an approved permanent seed mixture and an approved anchored mulch. Wood fiber mulch may only be used in seeding season when the slope does not exceed 10% and grading has been done to promote sheet flow drainage. Areas through to finished grade during the seeding season shall be permanently stabilized within fourteen (14) calendar days of establishment. When property is brought to finished grade during the months of November through February, and permanent stabilization is found to be impractical, an approved temporary seed and straw anchored mulch shall be applied to disturbed areas. The final permanent stabilization of such property shall be completed prior to the following April 15.
- The site permit, work, materials, approved SCSM plans, and test reports shall be available at the site for inspection by duly authorized officials of Montgomery County.
- Surface drainage flows over unstabilized cut and fill slopes shall be controlled by either preventing drainage flows from traversing the slopes or by installing mechanical devices to lower the water down slope without causing erosion. Dikes shall be installed and maintained at the top of cut or fill slopes until the slope and drainage area to it are fully stabilized, at which time they must be removed and final grading done to promote sheet flow drainage. Mechanical devices must be provided at points of concentrated flow where erosion is likely to occur.
- Permanent swales or other points of concentrated water flow shall be stabilized within 7 calendar days of establishment with sod or seed with an approved erosion control matting or by other approved stabilization measures.
- Temporary sediment control devices shall be removed, with permission of the Department, within thirty (30) calendar days following establishment of permanent stabilization areas. Stormwater management structures used temporarily for sediment control shall be converted to the permanent configuration within this time period as well.
- No permanent cut or fill slope with a gradient steeper than 3:1 will be permitted in lawn maintenance areas or on residential lots. A slope gradient of up to 2:1 will be permitted in non-maintenance areas provided that those areas are indicated on the erosion and sediment control plan with a low-maintenance ground cover specified for permanent stabilization. Slope gradient steeper than 2:1 will not be permitted with vegetative stabilization.
- The permittee shall install a splashblock at the bottom of each downspout unless the downspout is connected by a drain line to an acceptable outlet.
- For finished grading, the permittee shall provide adequate gradients so as to prevent water from standing on the surface of lawns more than twenty-four (24) hours after the end of a rainfall, except in designated drainage courses and swale flow areas, which may drain as long as forty-eight (48) hours after the end of a rainfall.
- Sediment traps or basins are not permitted within 20 feet of a building which is existing or under construction. No building may be constructed within 20 feet of a sediment trap or basin.
- All inlets in non-sump areas shall have asphalt berms installed at the time of base paving establishment.
- The sediment control inspector has the option of requiring additional sediment control measures, as deemed necessary.
- All trap elevations are relative to the outlet elevation, which must be on existing undisturbed ground.
- Vegetative stabilization shall be performed in accordance with the Standards and Specifications for Soil Erosion and Sediment Control.
- Temporary sediment traps(s) shall be cleaned out and restored to the original dimensions when sediment has accumulated to the point of one-half (1/2) the wet volume of the trap or when required by the Department control plan.
- Sediment removed from traps shall be placed and stabilized in approved areas, but not within a floodplain.
- All sediment basins and traps must be surrounded with a welded wire safety fence. The fence must be at least 42 inches high, have posts spaced no farther apart than 8 feet, have mesh openings no greater than two inches in width and four inches in height, with a minimum of 14 gauge wire. Safety fence must be maintained in good condition at all times.
- No excavation in the areas of existing utilities is permitted unless their location has been determined. Call "Mas Utility" at 1-800-257-7777, 48 hours prior to the start of work.
- Off-site spoil or borrow areas must have prior approval by DPS.
- Sediment trap basin dewatering for cleanup or repair may only be done with the DPS inspector's permission. The inspector must approve the dewatering method for each application. The following methods may be considered:
  - Pump discharge may be directed to another on-site sediment trap or basin, provided it is of sufficient volume and the pump intake is floated to prevent agitation or suction of deposited sediments; or
  - The pump intake may utilize a Removable Pumping Station and discharge into an undisturbed area through a non-erosive outlet; or
  - The pump intake may be floated and discharge into a Dirt Bag (12 oz. non-woven fabric), or approved equivalent, located in an undisturbed buffer area.

**Remember:** Dewatering operation and method must have prior approval by the DPS inspector.
- The permittee must notify the Department of all utility construction activities within the permitted limits of disturbance prior to the commencement of those activities.
- Topsoil must be applied to all pervious areas within the limits of disturbance prior to permanent stabilization in accordance with Montgomery County standards and specifications for topsoiling.

**LEGEND**

**SEDIMENT CONTROL LEGEND**

**SEDIMENT CONTROL NARRATIVE:**

—THE EXISTING SITE WILL ONLY BE DISTURBED AT THE MAIN ENTRANCE OF THE BUILDING AND ENTRANCES TO THE PARKING LOT ALONG THE SOUTH FACE OF THE EXISTING BUILDING. THE DISTURBANCE WILL BE REQUIRED IN THESE AREAS FOR THE NEW COURTYARD ENTRANCE TO THE BUILDING TO THE INTO THE EXISTING GRASS. THERE WILL ALSO BE LIMITED DISTURBANCE FOR THE INSTALLATION OF PLANTERS WITHIN THE EX. PARKING LOT. THE TOTAL AMOUNT OF DISTURBANCE WILL BE 16,500 SQUARE FEET.

—LIMIT PROTECTION IS TO BE PROVIDED AS SHOWN ON THE PLAN AS WELL AS THE FIRST DOWNSTREAM INLET FROM THE SITE AS DIRECTED BY THE ENGINEER.

—THERE ARE EXISTING STABILIZED ENTRANCES TO THE SITE AT MONTROSE ROAD AT THE SOUTH SIDE OF THE SITE.

—TEMPORARY ASPHALT DIKES ARE TO BE USED AS NECESSARY TO DIVERT RUNOFF

—JERSEY BARRIERS TO BE USED IN PLACE OR IN CONJUNCTION WITH CONSTRUCTION FENCING AS NECESSARY.

—SEDIMENT CONTROL DEVICES ARE TO BE ADJUSTED PER SEQUENCING WITH CONSTRUCTION.

**DETAIL 22 - SILT FENCE**

**Construction Specifications**

- Fence posts shall be a minimum of 36" long down 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) oak or 3 1/2" diameter (minimum) round steel pipe of sound quality hardwood. Steel posts will be standard T or U section weighing not less than 1.00 pound per linear foot.
- Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:
 

Tensile Strength	50 lb/in (min.)	Test: MSMT 509
Tensile Modulus	20 lb/in (min.)	Test: MSMT 509
Flow Rate	0.5 gal 4"/ minute (max.)	Test: MSMT 322
Filtration Efficiency	75% (min.)	Test: MSMT 322
- Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
- Silt fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1-13-3 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES WATER MANAGEMENT ADMINISTRATION

**SILT FENCE**

Silt Fence Design Criteria

Slope Steepness	(Maximum) Slope Length	(Maximum) Silt Fence Length
Flatter than 50:1	unlimited	unlimited
50:1 to 10:1	125 feet	1,000 feet
10:1 to 5:1	100 feet	750 feet
5:1 to 3:1	60 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet

Note: In areas of less than 2% slope and sandy soils (USDA general classification system, and Class A) maximum slope length and silt fence length will be unlimited. In these areas a silt fence may be the only perimeter control required.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1-13-3 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES WATER MANAGEMENT ADMINISTRATION 1994

**DETAIL 28C - CURB INLET PROTECTION (OOO OR COS INLETS)**

**Construction Specifications**

- Install a continuous piece of wire mesh 100' minimum width by throat length plus 4" to the 2" x 4" weir (measuring throat length plus 2" on either on the extended).
- Place a continuous piece of Geotextile Class F in the same direction as the wire mesh over the wire mesh and securely attach it to the 2" x 4" weir.
- Securely nail the 2" x 4" weir to a 3" long vertical spacer to be located between the weir and the inlet face (top of gutter).
- Place the assembly against the inlet throat and nail (minimum 2" length of 2" x 4" to the top of the weir or spacer (not less than 2" x 4" anchor) shall extend across the inlet top and be held in place by sandbags or alternate weight.
- The assembly shall be placed so that the top and bottom are a minimum 1" beyond both ends of the throat opening.
- Form the 1/2" x 1/2" wire mesh and the geotextile fabric to the concrete gutter and attach the face of the curb on both sides of the inlet. Place clean 1/2" x 1/2" stone over the wire mesh and geotextile in such a manner to prevent water from entering the inlet under or around the geotextile.
- This type of protection must be inspected frequently and the filter cloth and storm drain clean when clogged with sediment.
- Assure that storm flow does not bypass the inlet by installing a temporary weir on opposite side to direct the flow to the inlet.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1-13-3 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES WATER MANAGEMENT ADMINISTRATION 1994

**Notes:**

- Use and be temporary construction of curb inlet protection of 2" x 4" weir and 1/2" x 1/2" stone filter cloth. The weir shall be 10' minimum length.
- Use and be temporary construction of curb inlet protection of 2" x 4" weir and 1/2" x 1/2" stone filter cloth. The weir shall be 10' minimum length.
- Use and be temporary construction of curb inlet protection of 2" x 4" weir and 1/2" x 1/2" stone filter cloth. The weir shall be 10' minimum length.

**Professional Certification**

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No.: 16148  
Expiration Date: 08-22-14

MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES WATER RESOURCES

TEMPORARY ASPHALT DIKE

DATE: 7/03  
REV: Feb 1997  
SCALE: NONE

DATE: 11/1/13  
SHEET C-201  
FILE NO: 13-017

**SITE ANALYSIS**

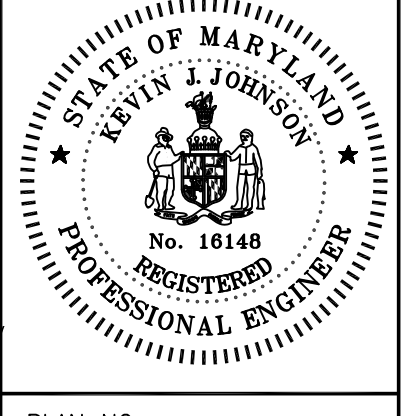
PROPERTY SIZE/AREA: 135,309 SF

LIMIT OF DISTURBANCE: 16,500 SF

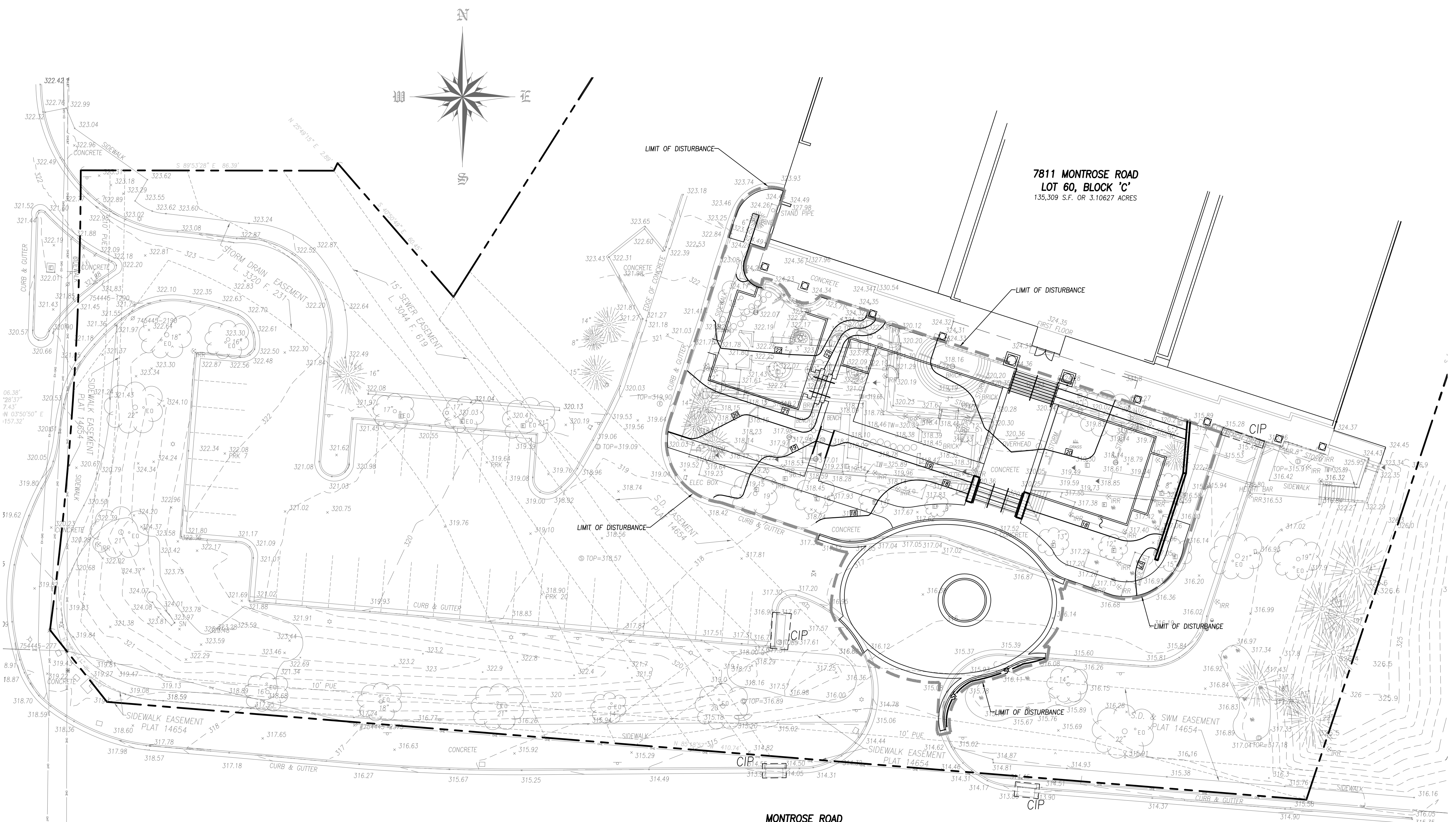
VOLUME OF CUT: 220 CY

VOLUME OF FILL: 220 CY

**FOR CONSTRUCTION ONLY**  
**7811 MONTROSE ROAD**  
**SEDIMENT CONTROL PLAN**  
 POTOMAC, MARYLAND



PLAN NO.:  
 SCALE: 1"=20'  
 DATE: 11/1/13  
 SHEET C-201  
 FILE NO: 13-017



205 N. Frederick Ave., S. 100  
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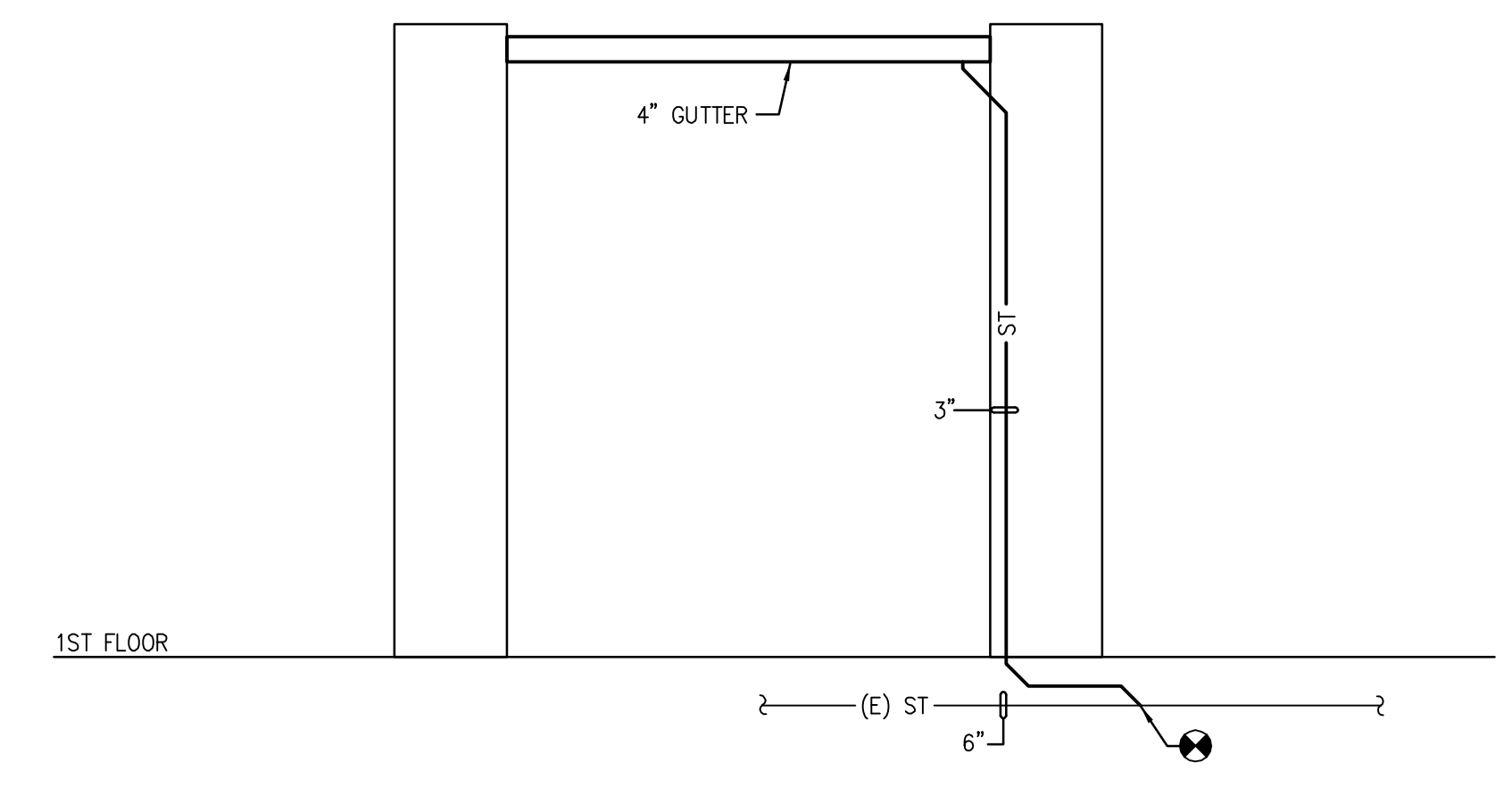
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REV. NO.	DATE	REVISIONS PRIOR TO APPROVAL



**PLUMBING SPECIFICATIONS**

1. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES.
2. THESE DRAWINGS ARE SCHEMATIC AND INTENDED TO DEPICT THE GENERAL LOCATION OF PLUMBING SYSTEMS COMPONENTS. CONSULT ARCHITECTURAL PLANS FOR PROPER DIMENSIONS AND LOCATION OF FIXTURES.
3. PROVIDE ALL NECESSARY TRANSITIONS IN PIPING FOR COMPLETE INSTALLATION. NOT ALL OFFSETS ARE SHOWN ON THE DRAWINGS. ALL PIPING AND ACCESSORIES SHALL BE FULL SIZE AND REDUCED IN SIZE ONLY IMMEDIATELY BEFORE THE CONNECTION POINT TO THE EQUIPMENT.
4. FREE ACCESS IS REQUIRED ON ALL SIDES OF EQUIPMENT. ALL SUCH EQUIPMENT SHALL BE LOCATED AS TO PROVIDE ADEQUATE SERVICE CLEARANCE AND AS REQUIRED TO MEET THE CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC CODE (NEC).
5. PIPE HANGERS FOR ALL PLUMBING PIPING SHALL BE CLEWS TYPE OF THE SAME MATERIAL AS ASSOCIATED PIPING. PIPING HANGERS SHALL BE INSTALLED AT 5 FOOT INTERVALS AND AT BOTH SEGMENTS OF ALL DIRECTION CHANGES.
6. THIS PROJECT SHALL HAVE A WET PIPE SPRINKLER SYSTEM DESIGNED IN ACCORDANCE WITH NFPA 13 AND THE COUNTY REQUIREMENTS.
  - A. TENANT SPACE IS CURRENTLY SPRINKLED. EXTEND EXISTING WET PIPE SPRINKLER SYSTEM FROM EXISTING MAIN TO TENANT SPACE AND THROUGHOUT AS REQUIRED BY NEW TENANT LAYOUT. COORDINATE SPRINKLER HEADS SO THAT NO HEADS ARE LOCATED WITHIN NEW WALLS AND SPRINKLER COVERAGE IS MAINTAINED. SPRINKLER HEADS SHALL BE LOCATED IN THE CENTER OR ALL CEILING TILES. ADD AND RELOCATE SPRINKLER HEADS TO PROPERLY PROTECT THE TENANT SPACE PER THE BASE BUILDING DESIGN AND CONFIGURATION.
  - B. NEW MATERIALS TO MATCH BASE BUILDING STANDARD. INSTALLATIONS TO COMPLY WITH NFPA 13 AND MONTGOMERY COUNTY CODES AND REGULATIONS.
  - C. SPRINKLER CONTRACTOR SHALL PREPARE SHOP DRAWINGS AND SUBMIT THEM TO THE FIRE MARSHAL AND OBTAIN APPROVAL BEFORE START OF WORK. OBTAIN ARCHITECTS APPROVAL PRIOR TO SUBMITTING DRAWINGS TO FIRE MARSHAL.
  - D. UPON COMPLETION OF THE INSTALLATION, THE ENTIRE SYSTEM SHALL BE TESTED AND APPROPRIATE CERTIFICATES GIVEN TO THE OWNER.
  - E. PROVIDE PIPE HANGERS AND SUPPORTS AS REQUIRED.
  - F. SPRINKLER HEADS AND HANGERS TO BE UL AND FM APPROVED. NEW SPRINKLER HEADS TO MATCH BUILDING STANDARD. SPRINKLER PLACEMENT TO BE CENTER OF CEILING TILES, OR AS APPROVED BY THE LANDLORD.



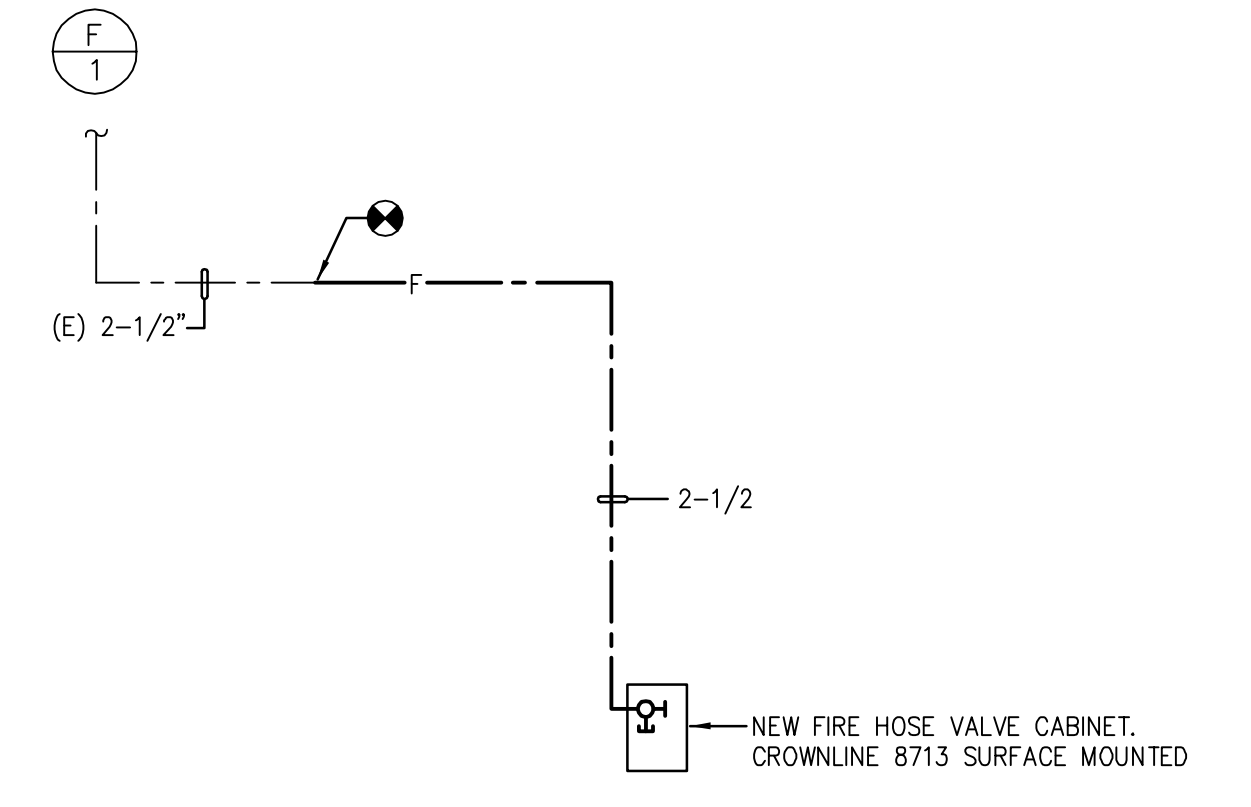
**STORM RISER DIAGRAM**  
 NOT TO SCALE

**PLUMBING ABBREVIATIONS**

BFP	BACKFLOW PREVENTER
CW	COLD WATER
(E)	EXISTING
HW	HOT WATER
SAN	SANITARY
ST	STORM
TYP	TYPICAL
V	VENT

**PLUMBING SYMBOLS**

— ST —	STORM PIPING
— F —	SPRINKLER PIPING
— O —	PIPE TURNING DOWN
— O —	PIPE TURNING UP
—>	PIPE CONTINUING
⊗	PLUMBING NOTE DESIGNATION
⊙	NEW TO EXISTING DESIGNATION
⊗	LIMIT OF DEMOLITION



**FIRE SERVICE RISER DIAGRAM**  
 NOT TO SCALE

7811 MONTROSE RD  
 POTOMAC, MD

**WILLCO Companies**  
 7811 Montrose Road  
 Suite 500  
 Potomac, MD 20854

PERMIT SUBMISSION	10/15/13

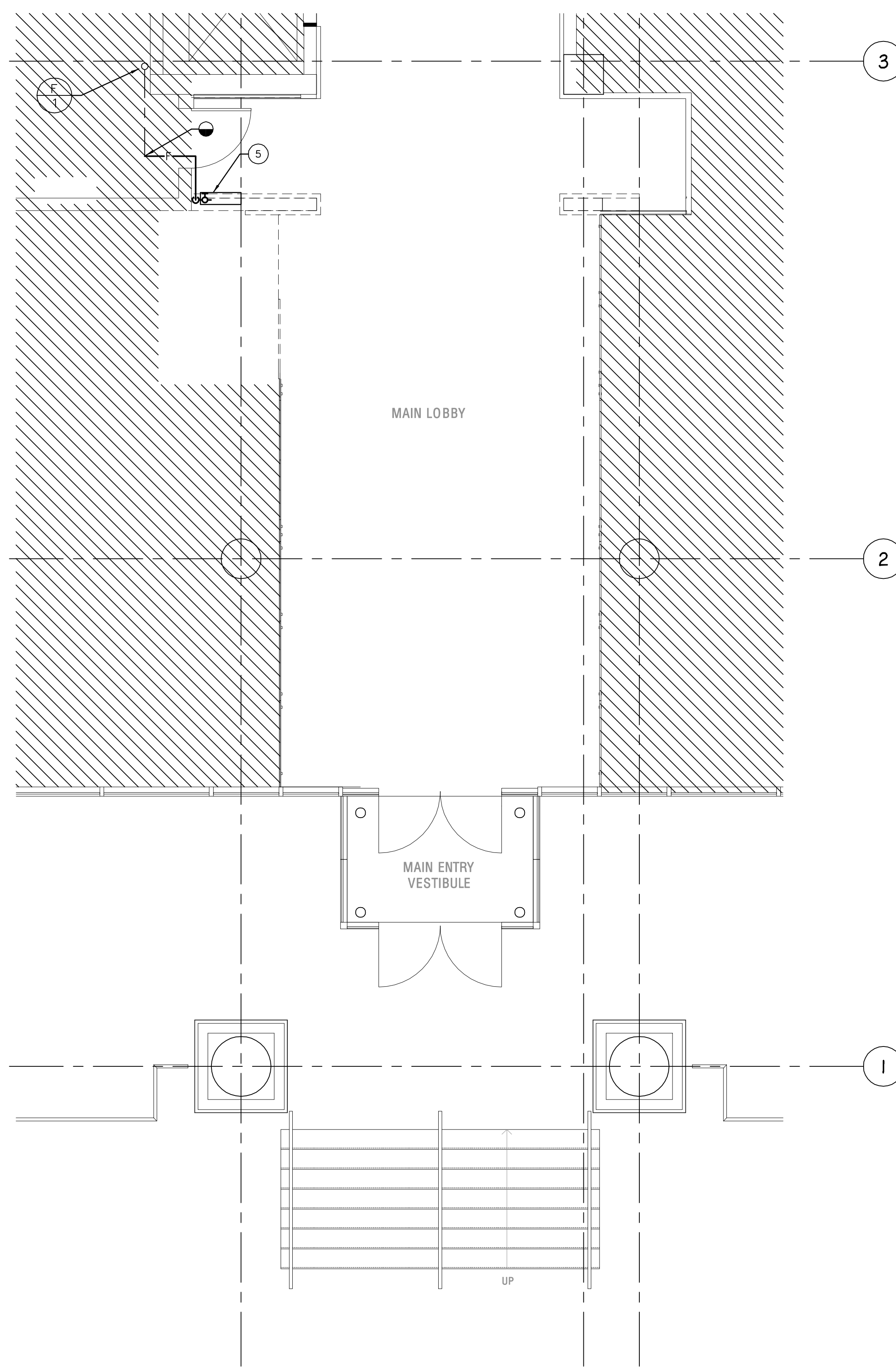
Professional Seal  
\*PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 15480. EXP. DATE 7/30/17

© 2012 WDG Project No: WA11042

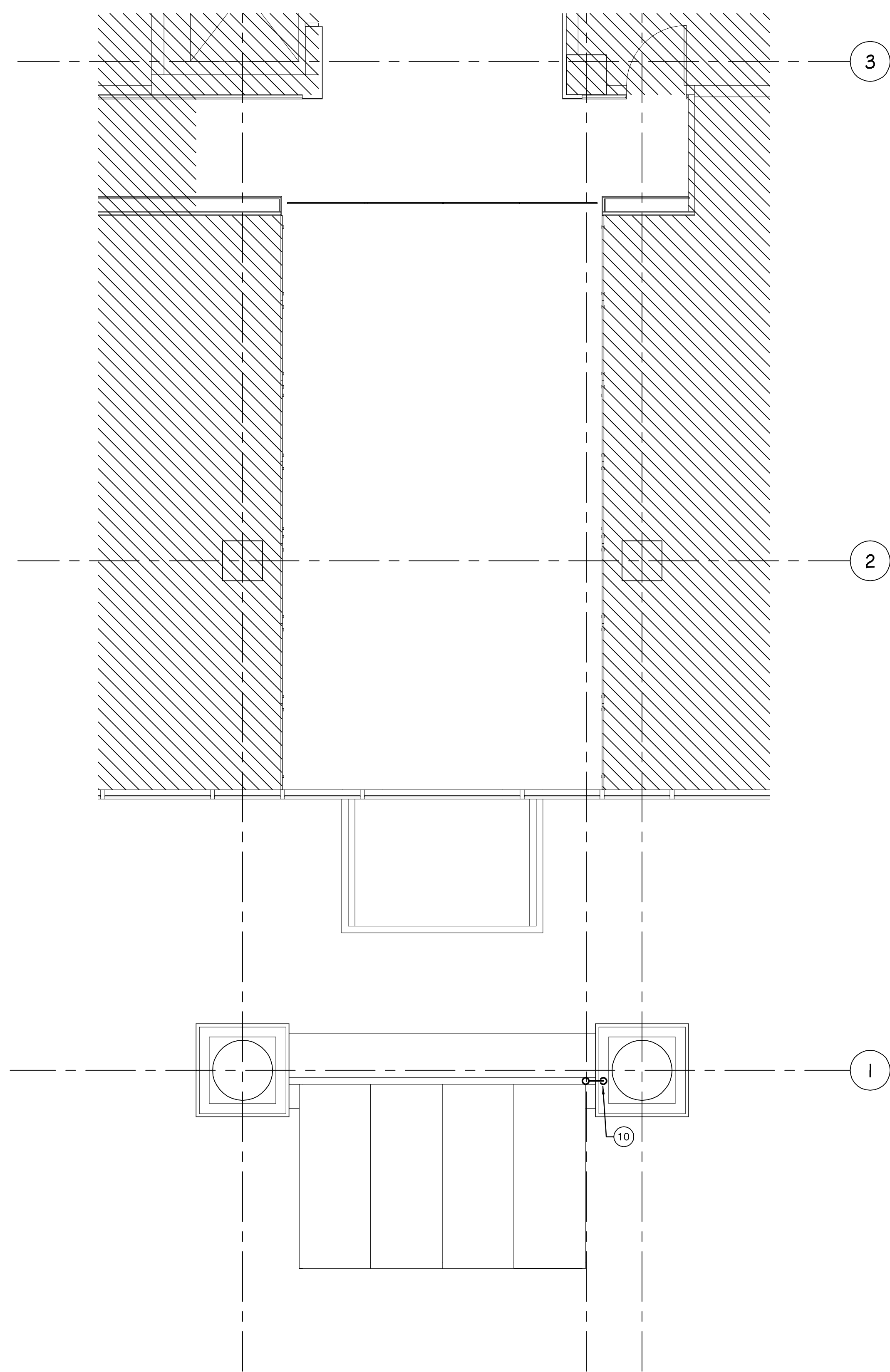
**PLUMBING SPECIFICATIONS, SYMBOLS, RISERS & ABBREVIATIONS**

Scale: AS NOTED

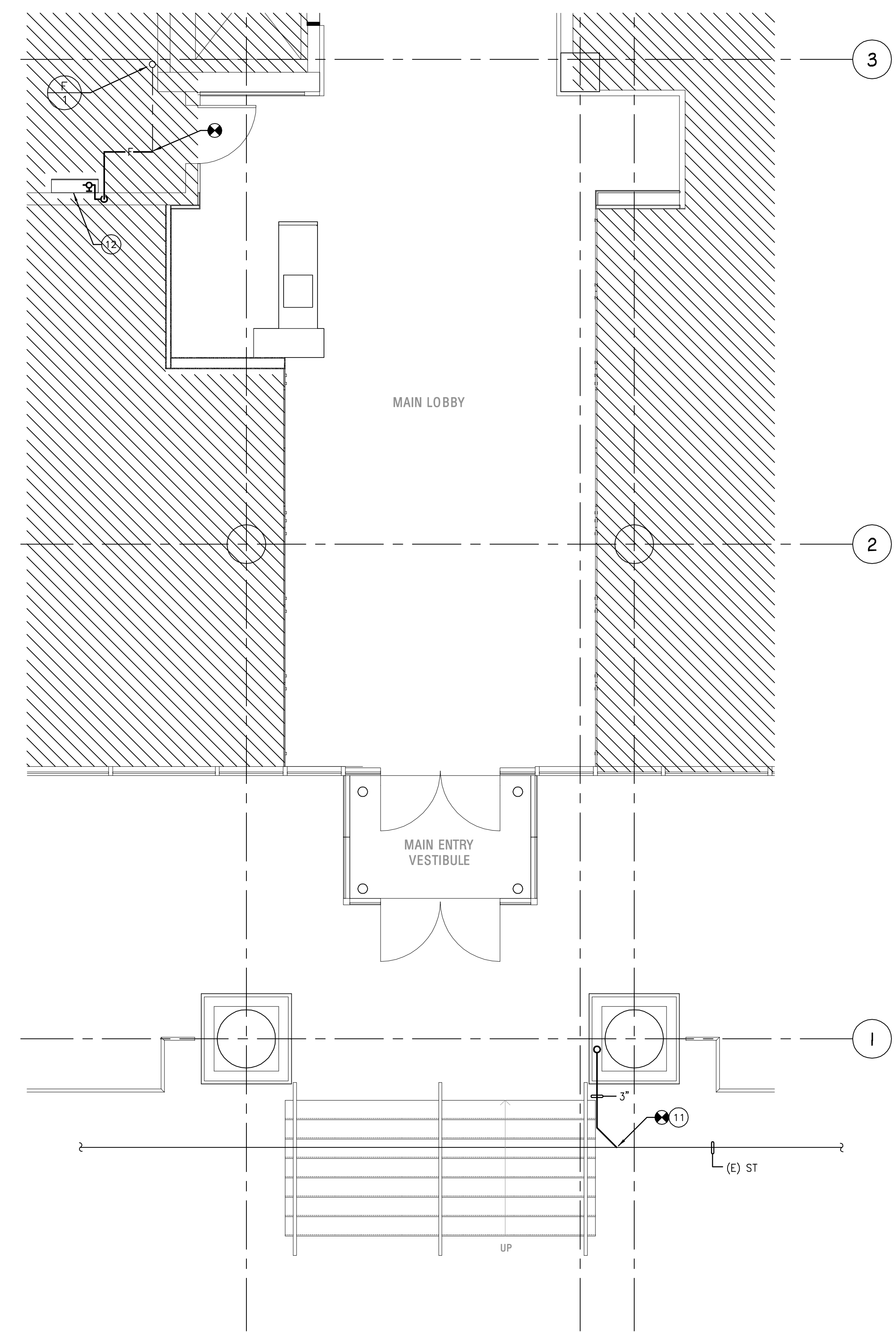




PARTIAL FIRST FLOOR PLAN – DEMOLITION ①②③④  
SCALE: 1/4"=1'-0"



PARTIAL SECOND FLOOR PLAN – CONSTRUCTION ⑥⑦⑧⑨  
SCALE: 1/4"=1'-0"



PARTIAL FIRST FLOOR PLAN – CONSTRUCTION ⑥⑦⑧⑨  
SCALE: 1/4"=1'-0"

DRAWING NOTES – DEMOLITION

- ① EVERY EFFORT HAS BEEN MADE TO INDICATE ALL PIPING AND EQUIPMENT THAT IS BEING REMOVED THROUGH EXISTING DRAWINGS AND FIELD OBSERVATIONS. HOWEVER, THE CONTRACTOR IS TO VERIFY ALL REMOVALS, SOME DIFFERENCES MAY OCCUR.
- ② ALL PIPING IS SHOWN DIAGRAMMATICALLY. ALL WORK SHOWN BOLD AND/OR DASHED IS CONSIDERED TO BE DEMOLISHED UNDER THIS CONTRACT UNLESS NOTED OTHERWISE. CONTRACTOR TO VERIFY SIZES AND LOCATION OF EXISTING PIPING.
- ③ COORDINATE SCOPE OF WORK WITH ARCHITECTURAL DRAWINGS.
- ④ PATCH AND/OR REPAIR ALL SLAB OR RATED PARTITION OPENINGS IMMEDIATELY WHERE PIPES AND/OR PLUMBING FIXTURES HAVE BEEN REMOVED AS REQUIRED.
- ⑤ REMOVE EXISTING FIRE HOSE VALVE AND CABINET. CAP PIPING ABOVE CEILING.

DRAWING NOTES – CONSTRUCTION

- ⑥ ALL WORK SHOWN BOLD IS CONSIDERED AS NEW TO BE PROVIDED UNDER THIS CONTRACT UNLESS NOTED OTHERWISE.
- ⑦ CONTRACTOR SHALL VERIFY ALL PIPING SIZES AND LOCATIONS IN FIELD.
- ⑧ ALL PIPING IS SHOWN DIAGRAMMATICALLY.
- ⑨ ALL PIPING IS TO BE CONCEALED IN WALLS OR ABOVE CEILING.
- ⑩ NEW 3" STORM PIPING DOWN.
- ⑪ CONNECT NEW 3" STORM PIPING TO EXISTING PIPING BELOW SLAB.
- ⑫ NEW FIRE HOSE VALVE CABINET AND NEW FIRE HOSE VALVE.



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PERMIT SUBMISSION	10/15/13

Professional Seal  
PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 15480. EXP. DATE 7/30/17

WDG Project No: WA11042

FIRST & SECOND  
FLOOR  
DEMOLITION AND  
NEW WORK PLAN:  
Scale: AS NOTED



LIGHTING FIXTURE SCHEDULE								
FIXT. SYM.	SYMBOL	DESCRIPTION	MFGR.	CATALOG NO.	LAMPS	VOLTS	MTG.	REMARKS
A		4" RECESSED MTD LED FIXTURE	HUBBELL PRESCLUTE	LFLEED7-6LEFEDS-35K	LED	120	RECESSED MOUNTED	
B		DECORATIVE LED PENDANT LIGHTING FIXTURE	LIGHTOLOGY	SLM 10 PENDANT 0916-04	LED	120	PENDANT MOUNTED	
C		4" RECESSED MTD LED FIXTURE	HUBBELL PRESCLUTE	MOLEDR9-35K8-8M9-4	LED	120	RECESSED MOUNTED	
D		CUSTOM LED PANEL LED FIXTURE	TECHNI LITE	ARCHITECT SELECTION	LED	120	COORDINATE WITH ARCHITECT	
F		4" RECESSED MTD LED FIXTURE	PATHWAY COVENTRY	ARCHITECT SELECTION	LED	120	COORDINATE WITH ARCHITECT	
EXT.1		PEDESTRIAN POLE LIGHT - LIGHT COLUMN	SELUX	ARCHITECT SELECTION		120	COORDINATE WITH ARCHITECT	
EXT.2		STAR LIGHT - WALL MOUNTED	ILLUMITEX	ARCHITECT SELECTION		120	COORDINATE WITH ARCHITECT	
EXT.3		TREE UPLIGHT - PRECISION LIGHT	ILLUMITEX	ARCHITECT SELECTION		120	COORDINATE WITH ARCHITECT	
EXT.4		LED STRIP FIXTURES	VARIO LED	VENUS W TV IP67		120	COORDINATE WITH ARCHITECT	

- NOTES:
- ALL LIGHTING FIXTURES SHALL BE APPROVED BY THE ARCHITECT/LIGHTING CONSULTANT PRIOR TO ORDERING AND INSTALLATION. REFER TO ARCHITECTURAL/LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION / MOUNTING DETAILS.
  - LIGHTING CONTROLS PROVIDED TO BE COMPATIBLE WITH SPECIFIED LUMINAIRE. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.
  - ALL LUMINAIRE FINISHES TO BE CONFIRMED BY ARCHITECT.
  - ALL LAMPS SHALL MATCH EXISTING BUILDING STANDARD LAMP COLOR TEMPERATURE.
  - CONTRACTOR SHALL PROVIDE AN ALLOWANCE FOR ATTC STOCK OF LAMPS.

### ELECTRICAL SPECIFICATIONS

- GENERAL
  - THESE DRAWINGS ARE SCHEMATIC AND INTENDED TO DEPICT THE GENERAL LOCATION OF ELECTRICAL SYSTEM COMPONENTS. CONSULT ARCHITECTURAL PLANS FOR FINAL DIMENSIONS AND LOCATION OF FIXTURES, DEVICES AND EQUIPMENT.
  - THE INSTALLATION OF ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH ALL CODES AND AUTHORITIES HAVING JURISDICTION INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
    - THE LATEST VERSION OF N.E.C., AND LOCAL N.E.C. AMENDMENTS.
    - ALL LOCAL CODES.
    - NFPA 72 AND THE LATEST VERSION OF THE LOCALLY RECOGNIZED BUILDING CODE.
    - THE AMERICANS WITH DISABILITIES ACT (ADA).
    - THE 2012 IECC CODE.
  - ADVANCE NOTICE SHALL BE GIVEN TO OWNER BEFORE COMMENCEMENT OF WORK ON ANY ELECTRICAL CIRCUITRY, WHETHER OR NOT AN OUTAGE IS REQUIRED.
  - UNLESS SPECIFICALLY NOTED ON THE PLANS, ALL CIRCUITRY, EQUIPMENT, DEVICES, ETC., NOT NOTED AS EXISTING TO REMAIN OR TO BE RELOCATED, SHALL BE NEW. THE CONTRACTOR MAY REUSE ALL EXISTING CONDUCTORS, EMT, POWER/LIGHTING CIRCUITRY, GRD, ETC., AS FIELD CONDITIONS PERMIT. ALL CIRCUITS THAT ARE TO REMAIN IN SERVICE UPON COMPLETION OF THIS PROJECT MUST BE CONTINUED IN SERVICE. OUTAGES ON EXISTING CIRCUITS TO REMAIN SHALL BE COORDINATED WITH THE OWNER.
  - THE CONTRACTOR SHALL REMOVE ALL ABANDONED OR UNUSED POWER, LIGHTING, CLASS I, II & III CABLING, FIRE ALARM, COMMUNICATIONS, RADIO, TV & CATV CABLING ALONG WITH ALL ASSOCIATED RACEWAYS, HANGERS, CABLE TRAYS AND APPURTENANCES WITHIN THE LIMIT OF THE AREA OF WORK. THE REMOVAL SHALL BE IN ACCORDANCE WITH N.E.C. 300.21, 645.5, 725.3, 760.3, 770.3, 800.52, 800.3, 800.33, 800.55 AND ALL OTHER RELATED REFERENCES.
  - ALL EQUIPMENT AND DEVICES OUTSIDE SHALL BE LOCKABLE NEMA 3R TYPE.
  - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL EQUIPMENT DEVICES AND OTHER ASSOCIATED APPURTENANCES TO BE PROVIDED FOR THIS PROJECT INCLUDED BUT NOT LIMITED TO:
    - LIGHT FIXTURES
    - SWITCHES, PLUGS AND RECEPTACLES
    - FIRE ALARM DEVICES
- RACEWAY, BOXES AND CONDUIT
  - OUTDOOR WIRING - USE THE FOLLOWING WIRING METHODS:
    - RIGID ALUMINUM METAL CONDUIT WITH WATERPROOF COMPRESSION COUPLING WITH INSULATED THROAT
    - ALUMINUM BOXES AND ENCLOSURES: NEMA TYPE 3R
    - CONNECTION TO VIBRATING EQUIPMENT: LIQUID TIGHT FLEXIBLE METAL CONDUIT.
  - INDOOR WIRING - USE THE FOLLOWING WIRING METHODS:
    - ELECTRICAL METALLIC TUBING WITH COMPRESSION COUPLING WITH INSULATED THROAT, UNLESS SPECIFICALLY NOTED OTHERWISE.
    - CONNECTION TO VIBRATING EQUIPMENT: FLEXIBLE METAL CONDUIT
    - BOXES AND ENCLOSURES: NEMA TYPE 1
    - FIRE ALARM CONDUIT AND BOXES SHALL BE PAINTED RED.
  - ALL CIRCUITRY SHALL BE RUN CONCEALED IN FINISHED AREAS.
  - EMT CONDUCTORS AND COUPLINGS SHALL BE OF THE ALL-STEEL, COMPRESSION TYPE WITH INSULATED THROAT.
  - ALL CIRCUITRY RUNS INDICATED ARE DIAGRAMMATIC. THE CONTRACTOR SHALL DETERMINE IN THE FIELD THE MOST SUITABLE ROUTES. THE CONTRACTOR SHALL PROVIDE AUTOCAD "AS-BUILT" DOCUMENTATION OF ALL CIRCUITRY RUNS.
  - LOW VOLTAGE WIRING SHALL BE INSTALLED IN RACEWAY, UNLESS OTHERWISE NOTED.
  - OUTLET BOXES SHALL BE A MINIMUM OF 4" SQUARE WITH THE APPROPRIATE PLASTER RING OR TILE COVER.
  - ALL EMPTY RACEWAYS SHALL CONTAIN A DRAG WIRE.
  - MINIMUM SIZE EMT SHALL BE 3/4" FOR POWER AND LIGHTING, 1" FOR LOW VOLTAGE/TELECOM.
- WIRE AND CABLE
  - ALL CONDUCTORS SHALL BE COPPER, MINIMUM #12 WITH 600 VOLT TYPE "THHN-THWN" INSULATION ROUTED IN CONDUIT. CONDUCTORS #10 AND LARGER SHALL BE STRANDED.
  - ARMORED CABLE (AC) MAY BE USED FOR INTERIOR BRANCH LIGHTING CIRCUITS WHERE CONCEALED. METAL-CLAD (MC) MAY BE USED FOR INTERIOR BRANCH CONVENIENCE CIRCUITS WHERE CONCEALED. HEALTHCARE FACILITY CABLE (HFC) MAY BE USED FOR INTERIOR BRANCH CIRCUITS SERVING RECEPTACLES, COMPUTERS, LASER PRINTER, SYSTEMS FURNITURE AND OTHER SPECIAL SERVICE WHERE CONCEALED. AC OR HFC CABLE SHALL NOT BE USED IN MECHANICAL ROOMS, ELECTRICAL ROOMS, TELEPHONE ROOMS AND OTHER SERVICE AREAS OR WHERE VISIBLE.
  - HOMERUNS WITHOUT BRANCH CIRCUIT BREAKER INFORMATION SHALL BE CONNECTED TO A NEW 1P/20 AMP CIRCUIT BREAKER. WHERE CONDUIT SIZE AND NUMBER WIRES AND THEIR SIZE IS NOT GIVEN, THE FOLLOWING SHALL APPLY:
    - LIGHTING CIRCUITS:
      - ONE BRANCH CIRCUIT - (1) #12 & (1) #12 NEUTRAL IN 3/4" CONDUIT
      - TWO BRANCH CIRCUITS - (2) #12 & (1) #10 NEUTRAL IN 3/4" CONDUIT
      - THREE BRANCH CIRCUIT - (3) #12 & (1) #10 NEUTRAL IN 3/4" CONDUIT
    - POWER CIRCUITS:
      - ONE BRANCH CIRCUIT - (1) #12 & (1) #12 NEUTRAL & (1) #12 GROUND IN 3/4" CONDUIT
      - TWO BRANCH CIRCUITS - (2) #12 & (1) #10 NEUTRAL & (1) #12 GROUND IN 3/4" CONDUIT
      - THREE BRANCH CIRCUIT - (3) #12 & (1) #10 NEUTRAL & (1) #12 GROUND IN 3/4" CONDUIT
  - PROVIDE ALL ADDITIONAL WIRES REQUIRED FOR SWITCHING AND CONTROL FUNCTION INDICATED. REFER TO SWITCHING INDICATED ON ARCHITECTURAL DRAWINGS.
  - ALL 120 VOLT CIRCUIT HOMERUNS WHICH ARE OVER 75 LINEAR FEET SHALL BE #10 CONDUCTORS MINIMUM. CONTRACTOR SHALL INCREASE WIRE SIZE AS REQUIRED TO MAINTAIN A MAXIMUM VOLTAGE DROP OF 3%.
  - RUN MULTIPLE HOMERUNS TO ALTERNATELY NUMBERED PANEL BOARD CIRCUITS (I.E. - 1, 3, 5).
  - THE CIRCUIT NUMBERS ARE FOR IDENTIFICATION PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTLY PHASING/BALANCING THE CIRCUITS IN THE PANELS ON MONTH AFTER OCCUPANCY. A MAXIMUM OF THREE SINGLE PHASE CIRCUITS SHALL BE INSTALLED IN ANY CONDUIT. ON COMPLETION OF THE INSTALLATION, THE CONTRACTOR SHALL BALANCE ALL PANEL PHASES SO THAT THE MAXIMUM IMBALANCE OF PHASE LOADS IS NO MORE THAN 10% AND PROVIDE AN UPDATED PANEL SCHEDULE.
  - ALL PLENUM WIRING SHALL COMPLY WITH N.E.C. SECTION 300.22.
- SWITCHES, RECEPTACLES & COMMUNICATIONS OUTLETS
  - THE LOCATIONS OF ALL TELEPHONE AND POWER RECEPTACLE SHALL BE VERIFIED, BEFORE INSTALLATION, BY THE ARCHITECT. THE ARCHITECT MAY, AT HIS OPTION, RELOCATE ANY DEVICE 5 FEET AT NO CHARGE TO THE OWNER.
  - WHERE TWO OR MORE DEVICES ARE SHOWN TOGETHER ON THE PLANS, A GANGED PLATE SHALL BE USED. DEVICES OF DIFFERENT VOLTAGES SHALL BE SEPARATED BY A BARRIER.
  - ALL RECEPTACLES SHOWN ON A WALL BACK TO BACK SHALL BE OFFSET A MINIMUM OF 6" HORIZONTALLY.
  - WALL PLATES SHALL BE OF A FINISH AS SELECTED BY THE ARCHITECT.
  - COORDINATE LIGHT SWITCHES SHOWN ON DRAWINGS WITH DOOR SWINGS. LOCATE LIGHT SWITCHES ON LOCK SIDE OF DOOR, UNLESS NOTED OTHERWISE ON THE ARCHITECTURAL DOCUMENTS.
  - MOUNTING HEIGHT FOR RECEPTACLES AND COMMUNICATIONS (TELEPHONE & DATA) OUTLETS SHALL BE 18", UNLESS SPECIFICALLY NOTED OTHERWISE ON THE ARCHITECTURAL DOCUMENTS.
  - MOUNTING HEIGHT FOR LIGHTING SWITCHES SHALL BE 48", UNLESS SPECIFICALLY NOTED OTHERWISE ON THE ARCHITECTURAL DOCUMENTS.
  - COORDINATE INSTALLATION AND LOCATION OF WALL MOUNTED TELEPHONE AND DATA OUTLETS ALONG WITH ASSOCIATED WIRING WITH THE COMMUNICATIONS CONTRACTOR. TELEPHONE AND DATA CONDUCTORS SHALL BE INSTALLED BY THE COMMUNICATIONS CONTRACTOR. ALL CABLING IN THE RETURN AIR PLENUM SHALL BE IN ACCORDANCE WITH N.E.C. 300.22.
  - THE CONTRACTOR SHALL REMOVE AND REINSTALL AND REPLACE CEILING TILES AS REQUIRED FOR THE INSTALLATION OF TELEPHONE AND DATA WIRING BY THE OWNER CONTRACTOR/VENDORS.
  - ALL RECEPTACLES WITHIN 6' OF A SINK SHALL BE GFI RATED.
  - ALL EXTERIOR RECEPTACLES SHALL BE GFI RATED AND INSTALLED IN NEMA- 3R OR BETTER ENCLOSURES.
- LIGHTING FIXTURES
  - PROVIDE NEW FIXTURES AS SPECIFIED ON THE DRAWINGS.
  - PROVIDE EMERGENCY WHITE LIGHTS AND EXIT SIGNAGE AS REQUIRE TO MAINTAIN EGRESS LIGHTING REQUIRED BY THE N.E.C. NEW AND EXISTING FIXTURES SHALL BE AS SPECIFIED
  - COORDINATE THE INSTALLATION OF RECESSED LIGHTING FIXTURES WITH ALL MECHANICAL EQUIPMENT AND THE ARCHITECTURAL REFLECTED CEILING PLAN. GRID LAYOUT ON THE ELECTRICAL PLANS IS APPROXIMATE, SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS.
  - PROVIDE FINISH FRAMES FOR ALL RECESSED LIGHTING FIXTURES TO BE COMPATIBLE WITH THE CEILING CONSTRUCTION. COORDINATE ALL FIXTURE TYPES WITH CEILING SYSTEM BEFORE ORDERING. PROVIDE ALL MOUNTING ATTACHMENTS FOR A COMPLETE INSTALLATION.
  - SUPPORT ALL FIXTURES ACCORDING TO N.E.C. 410-16 AND ALL LOCAL REQUIREMENTS.
  - ALL LIGHTING FIXTURES SHALL BE INSTALLED AS COMPLETE UNITS WITH LAMPS.
- EQUIPMENT CONNECTIONS
  - EXTEND WIRING TO ALL EQUIPMENT REQUIRING ELECTRICAL CONNECTIONS AND MAKE FINAL AND COMPLETE CONNECTIONS. CONNECTIONS, BEFORE ROUGH-IN, THE LOCATION AND TYPE OF EQUIPMENT SHALL BE VERIFIED WITH THE SHOP DRAWINGS OF THE EQUIPMENT STARTERS, DISCONNECTS AND OTHER ELECTRICAL CIRCUITRY AND DEVICES SHALL BE LOCATED TO ALLOW FOR ACCESS TO THE DEVICES AND NOT INTERFERE WITH THE OPERATION OF THE DEVICE.
  - COORDINATE THE EXACT LOCATION OF ALL MECHANICAL EQUIPMENT WITH THE MECHANICAL CONTRACTOR AND DRAWINGS AS TO PROVIDE CONNECTION AND CLEARANCE AS REQUIRED BY THE NEC.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL CONTROL CIRCUITRY WITH THE MECHANICAL CONTRACTOR. COORDINATE INSTALLATION OF ALL DEVICES AND CONTROL CIRCUITRY AS TO NOT BLOCK EQUIPMENT ACCESS.
  - COORDINATE THE REQUIRED CONDUCTOR AND OVER CURRENT PROTECTION DEVICE SIZE WITH ACTUAL MOTOR S AND OTHER MECHANICAL EQUIPMENT FURNISHED, PER THE MECHANICAL SHOP DRAWINGS, BEFORE INSTALLING THE CIRCUITRY AND OVER CURRENT PROTECTION DEVICES. PROVIDE WIRING AN OVER CURRENT DEVICES AS REQUIRED BY ACTUAL EQUIPMENT INSTALLED.
- GROUNDING
  - GROUND ELECTRICAL SYSTEMS AND EQUIPMENT IN ACCORDANCE WITH N.E.C. EXCEPT WHERE GROUNDING IN EXCESS OF N.E.C. REQUIREMENTS IS INDICATED.
  - ALL GROUNDING PATHS SHALL BE TESTED, VERIFIED AND SUBMITTED.
- SUPPORTING DEVICES
  - PROVIDE SUPPORTING DEVICES TO FASTEN ELECTRICAL COMPONENTS SECURELY AND PERMANENTLY IN ACCORDANCE WITH N.E.C. AND LOCAL JURISDICTION REQUIREMENTS.
  - ALL DEVICES SHALL BE INSTALLED AS TO MEET NEC AND MANUFACTURERS PUBLISHED INSTRUCTIONS.
- ELECTRICAL IDENTIFICATION
  - CONDUCTOR COLOR CODING: PROVIDE COLOR CODING OF FEEDERS AND BRANCH CIRCUITS TO MATCH BUILDING STANDARD OR AS APPROVED BY THE OWNER AS FOLLOWS:
 

208/120 VOLTS	PHASE	480/277 VOLTS
BLACK	A	YELLOW
RED	B	BROWN
BLUE	C	ORANGE
WHITE	N	GRAY
GREEN	G	GREEN
GREEN W/ YELL.	ISO. G	GREEN W/YEL.
  - PROVIDE FRAMED, TYPED PANEL DIRECTORIES WITH EXPLICIT DESCRIPTION AND IDENTIFICATION OF ITEMS CONTROLLED BY EACH INDIVIDUAL CIRCUIT BREAKER IN EACH NEW AND EXISTING PANEL BOARD WHICH CONNECTIONS ARE MADE OR REMOVED UNDER THIS CONTRACT.
- FIRE ALARM
  - CONTRACTOR SHALL PROVIDE ALL THE DEVICES, CONTROL AND EXTENDER PANELS, POWER SUPPLIES, WIRING, ETC. AS REQUIRED FOR THE INSTALLATION OF A COMPLETE, CODE COMPLIANT AND OPERATIONAL FIRE ALARM SYSTEM IN THE AREA OF WORK.
  - THE CONTRACTOR SHALL PREPARE ALL SHOP DRAWINGS, EQUIPMENT CUTS AND DETAILING AND SUBMIT SAME TO THE LOCAL FIRE MARSHALL AND RECEIVE APPROVAL PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL ASSUME THAT ELECTRONIC COPIES OF DRAWINGS ARE NOT AVAILABLE.
  - A LANDLORD APPROVED ELECTRICAL CONTRACTOR SHALL CONNECT ALL NEW BUILDING FIRE ALARM DEVICES TO THE EXISTING BUILDING FIRE ALARM SYSTEM IN ACCORDANCE WITH THE EXISTING FIRE ALARM SPECIFICATION AND PER CODE. ALL FIRE ALARM DEVICES INDICATED ON THESE PLANS AS NEW SHALL MATCH THE EXISTING DEVICES IN ALL RESPECTS. THE CONTRACTOR SHALL NOT DISABLE THE FIRE ALARM SYSTEM WITHOUT MAKING PRIOR ARRANGEMENTS WITH THE BUILDING OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL PROVISION REQUIRED BY THE OWNER AND LOCAL AUTHORITIES DURING ANY INTERRUPTION OF FIRE ALARM SERVICE. THE CONTRACTOR SHALL LEAVE ALL DEVICES FULLY OPERATIONAL.
  - NEW FIRE ALARM SYSTEM STROBES SHALL BE IN ACCORDANCE WITH ADA IN TYPE, COLOR, FLASH RATE, LIGHT INTENSITY AND MOUNTING HEIGHT AND LOCATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING AND PROVIDING WHAT MODIFICATIONS, IF ANY, SHALL BE NECESSARY TO THE BASE BUILDING FIRE ALARM SYSTEM TO ACCOMMODATE THE REQUIRED NEW DEVICES IN THIS CONTRACT.
  - HVAC DUCT MOUNTED SMOKE DETECTORS SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR, COORDINATED AND INSTALLED BY THE MECHANICAL CONTRACTOR AND CONNECTED BY THE ELECTRICAL CONTRACTOR.
  - THE ELECTRICAL CONTRACTOR SHALL COORDINATE, PROVIDE ALL RELAYS AND INTERFACE DEVICES NECESSARY AND CONNECT TO THE FIRE ALARM SYSTEM ALL SPRINKLER TAMPER AND FLOW SWITCHES AS INDICATED ON THE APPROVED SPRINKLER SHOP DRAWINGS.
  - ALL NEW AND EXISTING FIRE ALARM STROBE LIGHTS SHALL BE SYNCHRONIZED. PROVIDE SYNCHRONIZATION MODULE(S) IN APPROPRIATE MODIFIED APPLANCE CIRCUIT(S) AS NECESSARY.

### ELECTRICAL SYMBOLS

SYMBOL	DESCRIPTION	MTG. HT. TO G. OF DEVICE U.O.N.
	CEILING MOUNTED EXIT LIGHT FIXTURE SINGLE FACE/DOUBLE FACE WITH ARROWS AS INDICATED	
	DECORATIVE FIXTURE	
	DOWNLIGHTING WALLWASH FIXTURE	
	LIGHTING FIXTURE CONNECTED TO THE BUILDING EMERGENCY CIRCUIT	
	DOWNLIGHTING WALLWASH FIXTURE	
	SINGLE POLE SWITCH	+48"
	THREE WAY SWITCH	+48"
	COMBINATION TELEPHONE/DATA OUTLET - PROVIDE BOX AND COVER WITH EMPTY CONDUIT AND PULL-STRONG DEVICES AND CABLE PROVIDED AND INSTALLED BY TELEPHONE/DATA CONTRACTOR.	
	NEW DUPLEX RECEPTACLE OUTLET POWER: 110V / 20 A, U.O.N. DEVICE / PLATE COLOR: DETERMINED BY ARCHITECT.	
	NEW QUADRUPLUX RECEPTACLE OUTLET POWER: 110V / 20 A, U.O.N. DEVICE / PLATE COLOR: DETERMINED BY ARCHITECT.	
	NEW JUNCTION BOX PLATE COLOR: WHITE, HEIGHT AS NOTED ON PLANS.	
	CATV OUTLET	
	DRY TYPE TRANSFORMER: SIZE AS NOTED ON RISER OR FLOOR PLAN	
	120/208V PANELBOARD.	
	277/480V PANELBOARD.	
	CIRCUITRY TURNED UP	
	CIRCUITRY TURNED DOWN	
	HOMERUN TO PANELBOARD - NUMBER OF ARROWHEADS INDICATES NUMBER OF CIRCUITS. NUMERALS AND LETTERS ADJACENT TO ARROWHEADS INDICATE ASSIGNED PANEL AND CIRCUIT NUMBERS. TICK MARKS IN CIRCUITRY INDICATE QUANTITY OF No. 12 CONDUCTORS AND (T) CHECK MARK IN CIRCUITRY INDICATES GROUND CONDUCTOR. CIRCUITRY WITH NO TICK MARKS INDICATES 2#12 CONDUCTORS. ALL CONDUCTORS ARE No. 12 UNLESS NOTED OTHERWISE.	
	CIRCUITRY CONCEALED IN WALLS OR ABOVE CEILING. No. OF TICKS INDICATE No. OF CONDUCTORS. NUMERALS ADJACENT TO TICKS INDICATE WIRE SIZE. RUNS WITHOUT TICKS OR NUMERALS INDICATE 2#12 + 1#12G IN 3/4" CONDUIT U.O.N.	

### ABBREVIATIONS

A	AMPERE	MCB	MAIN CIRCUIT BREAKER
AF	ABOVE FINISHED FLOOR	MLO	MAIN LUGS ONLY
AIC	AMPERES INTERRUPTING CAPACITY	MTD	MOUNTED
C	CONDUIT	MTS	MANUAL TRANSFER SWITCH
E	EXISTING TO REMAIN	N	NEW
EC	EMPTY CONDUIT	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
R	RELOCATED, SHOWN IN NEW LOCATION	P	POLE
ER	EXISTING TO BE RELOCATED	PNL	PANEL
FACP	FIRE ALARM CONTROL PANEL	UON	UNLESS OTHERWISE NOTED
FAEP	FIRE ALARM EXPANDER PANEL	V	VOLT
FOU	FAN COIL UNIT	W	WIRE
G	GROUND	WP	WEATHERPROOF
GFI	GROUND FAULT CIRCUIT INTERRUPTER	X	EXISTING TO BE REMOVED
HP	HORSEPOWER	Ø	PHASE

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PERMIT SUBMISSION	10/15/13

### Professional Seal

\*PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 15460. EXP. DATE: 12/31/17

WDG Project No:  
WA11042

ELECTRICAL  
SPECIFICATIONS,  
SYMBOLS AND  
ABBREVIATIONS

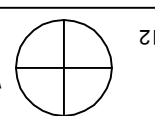
Scale: AS NOTED

E-1



ELECTRICAL SITE PLAN

WDC Project No. WA11042 © 2012



PROFESSIONAL SEAL  
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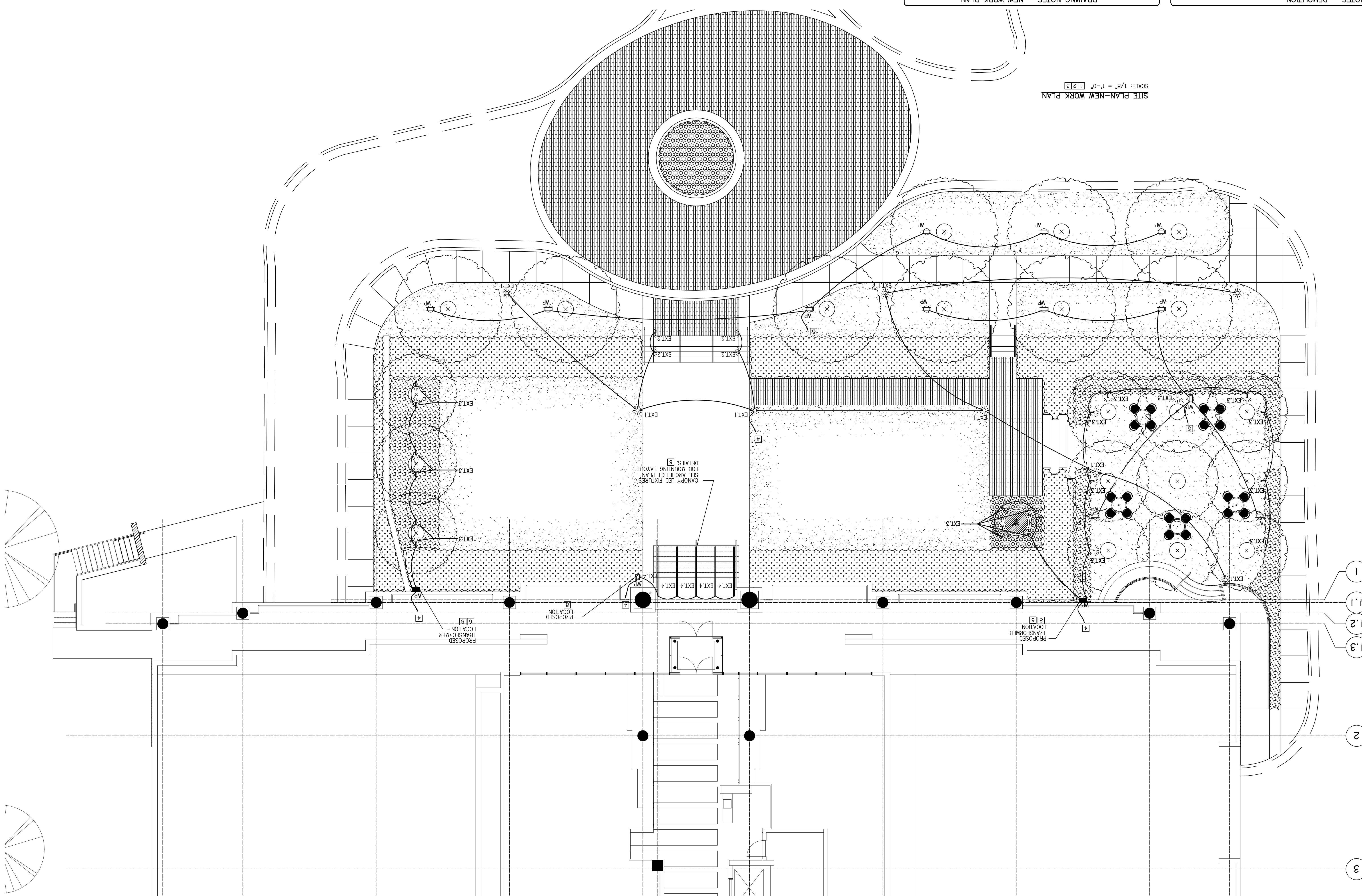
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wft job number: 13074



SITE PLAN-NEW WORK PLAN  
SCALE: 1/8" = 1'-0"

**DRAWING NOTES - NEW WORK PLAN**

1. ALL LIGHTING FIXTURES ARE NEW UNLESS OTHERWISE NOTED.
2. REFER TO ARCHITECTURAL AND LANDSCAPE DRAWINGS / DETAILS FOR EXACT LOCATION, MOUNTING, QUANTITIES AND LENGTHS OF ALL LIGHTING FIXTURES.
3. REFER TO ARCHITECTURAL DRAWINGS AND ELEVATIONS FOR ADDITIONAL CHARACTERISTICS OF ALL EQUIPMENT WITH ARCHITECT AND OWNER CONTRACTOR AGREEMENT. A REMOVAL CONTRACTOR SHALL REMOVE ALL ELECTRICAL EQUIPMENT FROM THE PROJECT SITE.
4. RECONNECT TO EXISTING EXTERIOR LIGHTING CIRCUITRY THAT PREVIOUSLY SERVED THIS AREA. MODIFY EXISTING CIRCUITRY AS NECESSARY. RUN #212 IN 3/4" CONDUIT TO LIGHTS AS SHOWN. SEE NOTE 7 FOR MORE DETAILS.
5. RECONNECT TO EXISTING POWER CIRCUITRY THAT PREVIOUSLY SERVED THE 3/4" CONDUIT TO RECEPTACLES AS SHOWN.
6. CONTRACTOR SHALL PROVIDE ALL CONDUIT, POWER SUPPLIES, WIRING AND FULLY FUNCTIONAL SYSTEM.
7. PROVIDE ADD/ALTERNATE PRICE FOR ADDING ADDITIONAL LIGHTING CONTRACTORS, CIRCUITS AND RELAYS IN EXISTING CONTROL PANEL OR PROVIDING AN NEW CONTROL PANEL SIMILAR TO THE GREENGATE UTILITYKEEPER B. CAT# LR8-1200M WITH OVERRIDE SWITCH OR EQUAL. COORDINATE WITH ARCHITECT PRIOR TO BIDDING.
8. PROVIDE A WEATHERPROOF JUNCTION BOX FOR FIXTURE ACCESSORIES IF NOT PROVIDED BY FIXTURE MANUFACTURER. FIELD COORDINATE.

**DRAWING NOTES - DEMOLITION**

1. ALL ELECTRICAL DEVICES/EQUIPMENT IN THIS AREA OF DEMOLITION WORK ARE TO BE REMOVED UNLESS OTHERWISE INDICATED ON ARCHITECTURAL DRAWINGS.
2. REQUIRED DEMOLITION WORK SHALL NOT BE LIMITED TO THAT SHOWN ON PLANS ABOVE, BUT SHALL INCLUDE ALL NECESSARY WORK TO BE NECESSARY BY THIS CONTRACTOR AFTER VISITING THE SITE PRIOR TO BIDDING. CONTRACTOR SHALL GATHER ALL THE INFORMATION AND COORDINATE WITH OWNER'S REPRESENTATIVE FOR HIM TO INSPECT. AFTER INSPECTION BY THE OWNER'S REPRESENTATIVE CONTRACTOR SHALL REMOVE ALL UNWANTED DEVICES OR MATERIALS FROM THE SITE.
3. THE SCHEDULING OF DEMOLITION WORK SHALL BE COORDINATED BY THIS CONTRACTOR WITH THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING THE WORK.
4. CONTRACTOR SHALL VISIT JOB SITE TO ASCERTAIN CONDITIONS WHICH MAY AFFECT HIS BID AND WORK, AND HE SHALL BE RESPONSIBLE FOR THE INCLUSION OF ALL REQUIRED DEMOLITION IN AREAS UNDERGOING MODIFICATION WHETHER OR NOT SUCH WORK IS INDICATED ON PLANS OR NOTES.



(E) PNL. AAA		EXISTING PANELBOARD SCHEDULE													
CIR.#	TYPE	DESCRIPTION	VOLTAGE	PHASE	WIRE	RATING	MAIN		AIC	NEUTRAL	GROUND BAR		MOUNTING	ENCLOSURE	CIR.#
			208Y/120V	3	4	100 A	M	L	O	10 K	100%	YES	SURFACE	NEMA 1	
			WIRE SIZE	COND. SIZE	BREAKER		LOAD (KVA)	PHASE	LOAD (KVA)	BREAKER	COND. SIZE	WIRE SIZE	DESCRIPTION	TYPE	
					AMP	P			P	AMP					
1	O	(E) EQUIPMENT LOAD	E	E	20	2	1.60	A					MAIN BREAKER	2	
3							1.60	B						4	
5	R	(E) RECEPTACLES	E	E	20	1	0.90	C					(E) RECEPTACLES	6	
7							1.50	A	1.08	1	20	E		E	8
9	O	(E) DUCT HEATER	E	E	20	3	1.50	B	1.08	1	20	E		E	10
11							1.50	C	0.90	1	20	E	E	12	
13	R	(E) RECEPTACLES	E	E	20	1	1.08	A	1.90				(E) A/C UNIT	14	
15	R	(E) RECEPTACLES	E	E	20	1	0.72	B	1.90					16	
17	R	(E) RECEPTACLES	E	E	20	1	1.08	C	1.90					18	
19		SPACE						A	0.36	1	20	3/4"	2#12 + 1#12G	***RECEPTS. LOBBY	20
21		SPACE						B		1				SPACE	22
23		SPACE						C		1				SPACE	24

**NOTES:**

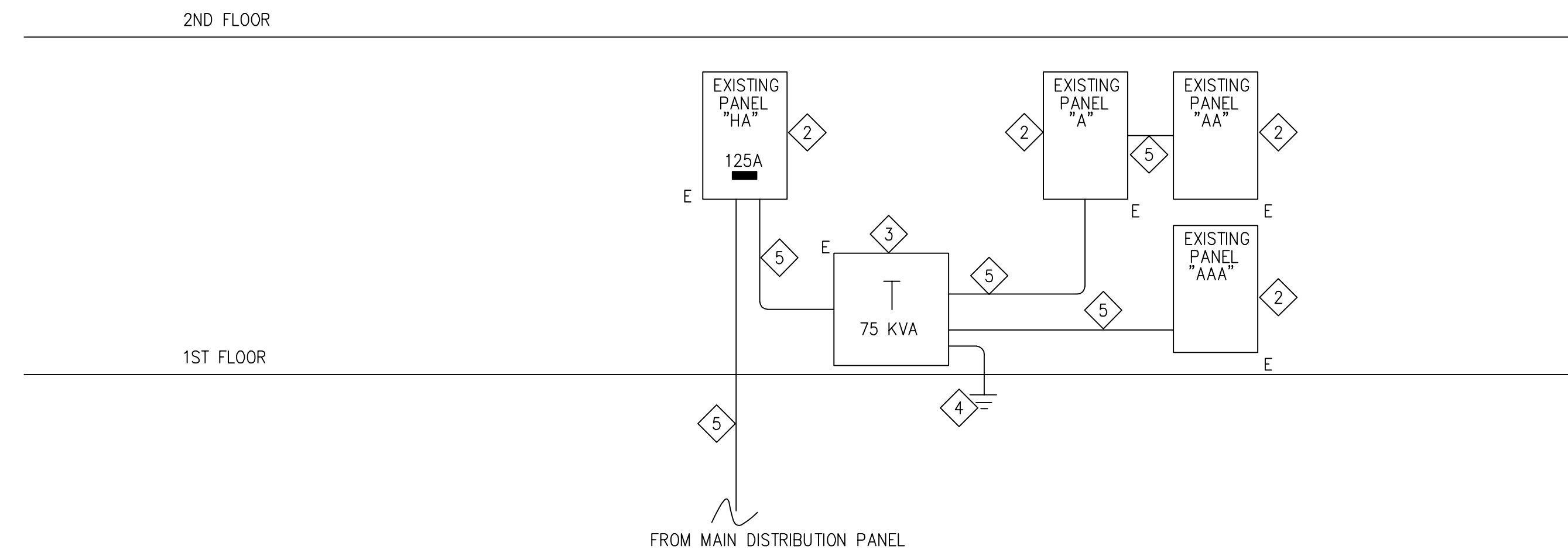
\*\*\* PROVIDE AN NEW 1P,20A CIRCUIT BREAKER FOR NEW LOAD SHOWN. BREAKER TYPE TO MATCH EXISTING BREAKERS INSTALLED.

1). PROVIDE AND UPDATED PANEL DIRECTORY UPON COMPLETION OF WORK.

2).

3).

LOAD TYPE	LOAD (KVA)	[S] SUBLOADS (KVA)							CONNECTED LOAD (KVA)	DEMAND FACTORS	DEMAND LOAD (KVA)	RATING FACTOR	RATING LOAD (KVA)
		-	-	-	-	-	-	-					
[L] LIGHTING	0.00							0.00	100%	0.00	125%	0.00	
[R] RECEPTACLES	7.20							7.20	1st 10KVA@100%+ REST@50%	7.20	100%	7.20	
[M] MECHANICAL	0.00							0.00	100%	0.00	125%	0.00	
K] KITCHEN EQUIPMENT	0.00							0.00	#OF PIECES = 0   100%	0.00	100%	0.00	
[O] OTHER	13.40							13.40	100%	13.40	100%	13.40	
[E] EXISTING	0.00							0.00	100%	0.00	125%	0.00	
TOTAL CONNECTED LOAD (KVA)=	20.60	0.00	0.00	0.00	0.00	0.00	0.00	20.60	TOTAL (KVA) =	20.60		20.60	
									TOTAL AMPS =	57.18		57.18	



PARTIAL EXISTING RISER DIAGRAM  
NO SCALE (FOR REFERENCE ONLY)

**RISER NOTES:**

- 1 ALL EQUIPMENT IS EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
- 2 EXISTING PANEL TO REMAIN - SEE SCHEDULE FOR ADDITIONAL INFORMATION.
- 3 EXISTING 75KVA 480V, 3# TO 120/208V 3# 4W, SECONDARY DRY TYPE TRANSFORMER.
- 4 EXISTING GROUND TO REMAIN
- 5 EXISTING FEEDER TO REMAIN.

**PANEL SCHEDULE NOTES:**

- 1. ALL NEW CIRCUIT BREAKER SHALL MATCH EXISTING CIRCUIT BREAKER TYPES INCLUDING INTERRUPTING CAPACITY.
- 2. PANELBOARD CIRCUIT LABELING: CIRCUITS SHALL BE LABELED TO INDICATE AREAS SERVED.

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PERMIT SUBMISSION 10/15/13

Professional Seal  
\*PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly licensed PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 15485. EXP. DATE: 7/31/17

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ELECTRICAL  
PANEL SCHEDULE  
AND RISER  
DIAGRAM

Scale: AS NOTED